

Historic District Review Board

Cape Charles Civic Center – 500 Tazewell

Regular Session Agenda

December 13, 2016 5:00 P.M.

1. Call to Order; Roll Call
2. Invocation and Pledge of Allegiance
3. Consent Agenda
 - A. Approval of Agenda Format
 - B. Approval of Minutes
4. New Business
 - A. Application for Certificate of Appropriateness for 535 Plum Street – contributing structure single-family dwelling: replace roof, siding, windows, doors, back step; repair front porch.
 - B. Application for Certificate of Appropriateness for 401 Mason Avenue – contributing structure commercial building: roof; masonry repair; exterior painting; garage door replacement; Brise soleil wooden louvers installation; accessibility ramps and platforms.
5. Old Business
 - A. Review of 204 Washington Avenue application for chimney cladding on new construction of single-family dwelling.
 - B. Set date for CAMP follow-up work session
6. Announcements – None
7. Presentation – Mr. Marcus Pollard on updated Historic District Register Survey project
8. Adjourn



DRAFT
HISTORIC DISTRICT REVIEW BOARD
Regular Meeting
Cape Charles Civic Center
November 15, 2016
6:00 p.m.

At approximately 6:00 p.m. Chairman Joe Fehrer, having established a quorum, called to order the Regular Meeting of the Historic District Review Board (HDRB). In addition to Joe Fehrer, present were John Caton, Terry Strub and Sandra Salopek. David Gay was not in attendance. Also in attendance were Town Planner Larry DiRe and Assistant Town Clerk Tracy Outten. The applicants and one other member of the public were in attendance.

Chairman Joe Fehrer started the HDRB Regular meeting with a moment of silence and the recitation of the Pledge of Allegiance.

CONSENT AGENDA:

Motion made by Terry Strub, seconded by John Caton, to accept the agenda as presented. The motion was unanimously approved.

The HDRB reviewed the minutes from the September 20, 2016 Regular Meeting.

Motion made by John Caton, seconded by Terry Strub, to accept the minutes of the September 20, 2016 Regular Meeting as revised with a word change on page two. The motion was unanimously approved.

NEW BUSINESS:

A. *Application for Certificate of Appropriateness for 204 Washington Avenue – new construction of single-family dwelling*

Applicant, Spencer Custis, gave an overview of the proposed plans. The board discussed with the applicant changing the chimney material to masonry or brick veneer and the inappropriate shape of the round window in the district.

Motion made by John Caton, seconded by Terry Strub, to approve the Application for the Certificate of Appropriateness for 204 Washington Avenue as proposed with the exception of using different material for the chimney and changing the shape of the round window to a conforming shape commonly found in the district. The motion was unanimously approved.

B. *Application for Certificate of Appropriateness for 639 Monroe Avenue – demolition of rear utility room and new construction of rear addition bedroom and bath*

Contractor Bill Manning gave an overview of the proposed addition. Joe Fehrer asked if the original siding would stay to which he responded in the affirmative.

Motion made by Terry Strub, seconded by John Caton, to approve the Application for the Certificate of Appropriateness for 639 Monroe Avenue as presented. The motion was approved by unanimous vote.

OLD BUSINESS:

There was no old Business to review.

Chairman Joe Fehrer thanked the board and staff for attending the October CAMP training.

ANNOUNCEMENTS:

National Register survey update meeting Tuesday, December 20, 2016

Terry Strub and Sandra Salopek would be out of town and suggested changing the December meeting day.

Motion made by Sandra Salopek, seconded by Terry Strub, to change the meeting date and time from Tuesday, December 20, 2016 at 6:00 p.m. to Tuesday, December 13, 2016 at 5:00 p.m. The motion was unanimously approved.

Larry DiRe announced the Town Council and Planning Commission Joint Public Hearing to discuss the Comprehensive Plan would be on Tuesday, December 6, 2016 at 6:00 p.m.

Joe Fehrer suggested a HDRB Work Session in January to discuss the CAMP training.

David Gay's comments submitted by email are attached as requested by Joe Fehrer.

Motion made by Sandra Salopek, seconded by Terry Strub, to adjourn the Historic District Review Board Regular Meeting. The motion was unanimously approved.

Chairman Joe Fehrer

Assistant Town Clerk

Historic District Review Board Staff Report

From: Larry DiRe 
Date: December 13, 2016
Item: 4A – 535 Plum Street – Renovate single-family house
Attachments: Application, elevations, narrative with materials detail, plot plan, photos

Application Specifics

An application has been received for a Certificate of Appropriateness for 634 Randolph Avenue. The proposed work on the building includes renovating a single-family house. The building is an American Foresquare-style contributing structure on a nonconforming size lot. There is no change to the current building footprint and a plot plan/survey plat is provided.

Discussion

- The proposed project includes the installation of new windows throughout the building. The windows are a standard 28" x 42" throughout. Existing windows show a variety of styles including six over six, six over two, and one over one. The applicant proposes two over two throughout the house. In conformity with the Guidelines (Element 1, page 38) the applicant states that "window would not have snap-in muntins but rather grid between the panes of glass." He provides photos of similar windows in the district.
- Hardie board with a 5" exposure is proposed as the siding material. Although a synthetic material, such siding is common throughout the District and does not negatively impact the integrity of the District. Trim is proposed to replicate the original board with either Hardie trim or pvc board. The applicant specifically states the siding and trim color scheme and finds a similar style in the district.
- The proposed architectural roofing shingles for both the house (hipped) and porch (shed) roof meet the Guidelines requirements (page 35).
- Front porch repairs include removing the damaged wood decking and replacing it with composite decking materials. The existing concrete block steps will be replaced with a two-step wooden structure.

Recommendation

Review the attached materials and discuss any questions or concerns regarding the application. Decide whether the Board finds that a Certificate of Appropriateness is appropriate for the application.

Application for Historic District Review

Town of Cape Charles
2 Plum Street
Cape Charles, VA 23310
757-331-2036 Fax: 757-331-4820
planner@capecharles.org

Date: 11-14-2016

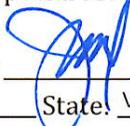
* Please attach checklist items

Permit No.: _____

Fee: \$100.00

Modification Fee: \$50.00

Special Meeting Fee: \$125.00

Applicant: 216 N Budding Avenue, LC Signature: 
Address: 208 Ash Avenue, Suite 101 City: Virginia Beach State: VA Zip: 23452
Telephone: 757-675-0777 Cell: 757-675-0777
Email: JLWood1987@gmail.com

Owner(s): 216 N Budding Avenue, LC
Address: 208 Ash Avenue, Suite 101 City: Virginia Beach State: VA Zip: 23452
Telephone: 757-675-0777 Cell: 757-675-0777
Email: JLWood1987@gmail.com

Contractor: Ocean Bay Contracting, LLC
Address: 208 Ash Avenue, Suite 101 City: Virginia Beach State: VA Zip: 23452
Telephone: 757-675-0777 Cell: 757-675-0777
Email JLWood1987@gmail.com
Town License No.: 16-0280 State License No.: 2705158029 Class A

Location of Improvement: 535 Plum Street, Cape Charles, VA (tax ID 083A/01 001000169B)
Lot No.: 169/172 (parts) Block No.: _____ Lot Size: 35x80 Lot Area: 2800 SF
Type of Improvement: Exterior: replace roof, replace siding, replace windows, replace doors, replace back steps, repair front porch
Proposed Use: Existing residential use to remain
Estimated Construction Costs: \$49,632.00

Dimension of Structure or Improvement:
Width: 28.50 Length: 28.50 Height: 19.0 to eave
Total Square Footage: 812.25 SF house + 216 SF porch = 1028.25 footprint
**NOTE: No alteration to building footprint

Structure of Improvement will be set back:
existing to remain from front property line
existing to remain from side property line
existing to remain from side property line on corner lot
existing to remain from rear property line
existing to remain from alley

Town Water Permit: _____ Town Sewer Permit: _____

Application for Historic District Review

Town of Cape Charles
2 Plum Street
Cape Charles, VA 23310
757-331-2036 Fax: 757-331-4820
planner@capecharles.org

Applicant Checklist:

These items must be submitted to the Town Planner no later than 14 days prior to the Historic District Review Board meeting. The Historic District Review Board meets the third Tuesday of each month.

- Completed signed application
- Application fee payable to "Town of Cape Charles"
- Site plan for any project proposing to alter the principal or accessory building footprint
- Scale drawings drawn to an appropriate scale of the site depicting the affected property and all buildings/structures
- Photos of existing/current structure
- Photos illustrating proposed project
- Material list (if applicable) including building materials, product descriptions and specifications

CERTIFICATION OF APPLICANT

I hereby certify that I have the authority to make the foregoing application, that the information given is true and correct, and that the construction or improvements will conform to the regulations in the Virginia Statewide Building Code, all pertinent Town Ordinances, including fire, sewer, and water ordinances, and private building restrictions, if any, which may be imposed on the property by deed. Furthermore, I certify that the changes to the improvement before or during construction will be provided to the Zoning Administrator and Building Official before such changes are constructed.

I understand that delinquent real estate taxes must be paid before any permits will be issued per Cape Charles Town Code Sec. 66-4.

I acknowledge that I have received the checklist of items to be submitted to the Town Planner for Historic District Review Board review. Failure to comply could result in delayed application review.

Signature of Owner/Contractor: 216 N BIDDING AVE, Lc By 

535 Plum Street – Application for Historic District Review

1. Introduction

The subject property is a traditional American Foursquare house. Based on land record and estate research at the Northampton County Court, we believe the house was built sometime in the late 1910s. The house has a “twin” to the right. Based on our research we believe it was built at the same time as the subject property. Apparently both homes were built as duplexes.

The 1990 US Department of Interior “National Register of Historic Places” registration form refers to the property as “1910s hip-roofed frame dwelling” and calls it a “contributing” structure.





Neighbors and adjacent residents tell us that the house has been vacant for at least twenty years. Apparently it had been used as a “stash house” where drug dealers would store their product when working this street in the past. Most recently it has been used as shelter for a feral cat colony.





The house does not have an electric service, plumbing or heating/cooling. The subfloor has been removed as have most interior walls. In addition to the proposed exterior renovation covered by this application, we plan to rebuild the interior from the studs outward with new wiring, plumbing, HVAC, drywall, insulation and flooring. Water and sewer service exist to the building.

2. Scope of work

Siding: The house is covered with 1970s-era shingle siding, which covers the original wooden lap siding. The original siding is largely damaged or missing and the nails used to fasten the shingle siding have further damaged it. The original siding is 6 inches nominally with a 5-inch exposure. We plan to use a fiber cement lap siding product by JamesHardie which has a 30 year warranty. The product will be installed with a 5-inch exposure.

The original color appears to be grey based on an exposed piece of siding, which is clearly faded after a century.



We plan to use JamesHardie's "evening blue" which is a rich, blue-grey color and probably was consistent with the original color. The siding will have a nice contrast with the white trim.



The original trim detail at the siding to roof transition likely was a 10 to 12 inch flat wood board and we propose to replicate that detail with a flat fiber cement trim board or a PVC board. The appearance will be the same as the original wood trim.

There are a few examples of this color combination in the district.



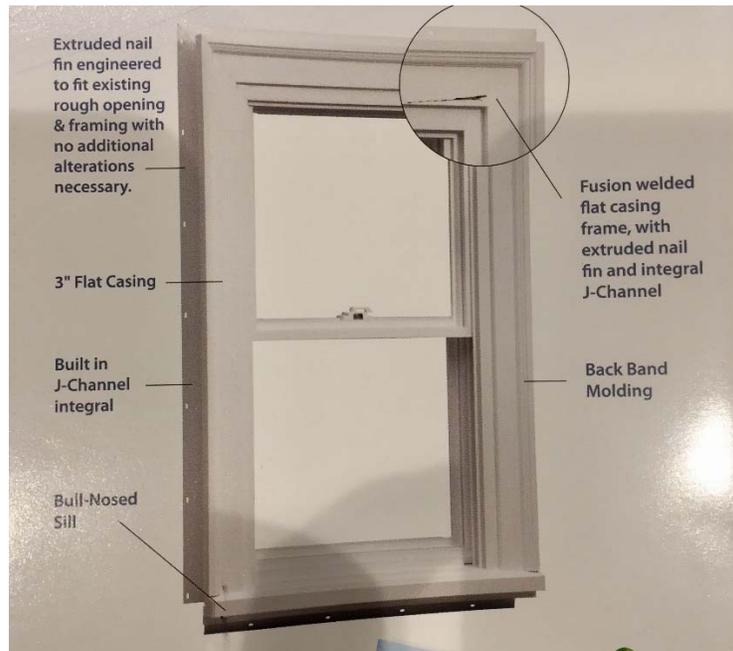
Windows: The house has seventeen windows, each approximately 28 inches wide by 42 inches tall. The windows have obviously been replaced over time and there are examples of divided lights as 6 over 6, 6 over 2, 6 over 1 and 1 over 1 windows.



Our research indicates that the American Foursquare homes sold during this time period often had 2 over 2 windows and we propose to replace all the windows with a modern single-hung window that is consistent with period

design. The window would not have snap-in muntins but rather grid between the panes of glass.

Of equal importance is the trim around the windows and we propose a window with trim in a picture frame around the window, but with the significant addition of a bottom sill, which is consistent with period homes.



There is some evidence of this type detail on the subject property, and homes in the district have this type of window and the two over two design.





Roofing: The house has a pyramid roof typical of the American Foursquare and has modern shingles. The porch has a shed roof with modern shingles as well, but the two roofs do not match. We propose to replace the roofing material with 30-year black/grey architectural asphalt shingles.



This color shingle is found throughout the district. There will be no alteration to the size, pitch or any other structural element of either roof other than the replacement of damaged structural members.

Front Porch: The porch has been heavily modified over the years. The ceiling is largely collapsing and the wood decking has failed in many areas. We propose to remove the plywood panels along the base of the porch and the 2x4 framing. We will install new 4x4 posts as per the elevation drawing. We will remove the wood decking and replace it with 1x6 composite decking with a 1x8

skirt fascia at the base of the deck. We will replace the porch ceiling with a durable beaded product to reproduce the look of the period ceiling.

Steps: The existing front steps appear to be concrete block that has collapsed. We propose to replace the steps with a simple two-stair wooden structure with composite decking to match the porch.

Doors: The two exterior doors that serve the home are in very rough shape. In addition, both are only 30 inches wide, which does not allow for accessibility for those with mobility problems, does not provide adequate emergency egress and does not allow for moving larger furniture items or appliances in and out of the house. We propose to install a 36 inch wide by 80 inch tall raised panel door with a half-light (9 light) at the rear.

At the front door, we propose a craftsman-style or similar raised panel door with a vision light in the top quarter. The exact style may vary from the photograph.



Rear Stoop: The existing treated lumber rear stoop has deteriorated beyond any safe use. We plan to replace it with a similar treated lumber structure.



Brick: The existing foundation brick is largely intact. Structural needs dictate that the brick be pointed up. Missing brick will be replaced with brick that matches to the greatest extent possible, although most missing brick is in the rear of the property. Some modifications to foundation vents will be made to install FEMA-compliant engineered flood vents and black automatic foundation air vents. The brick will be generally left in its original condition.

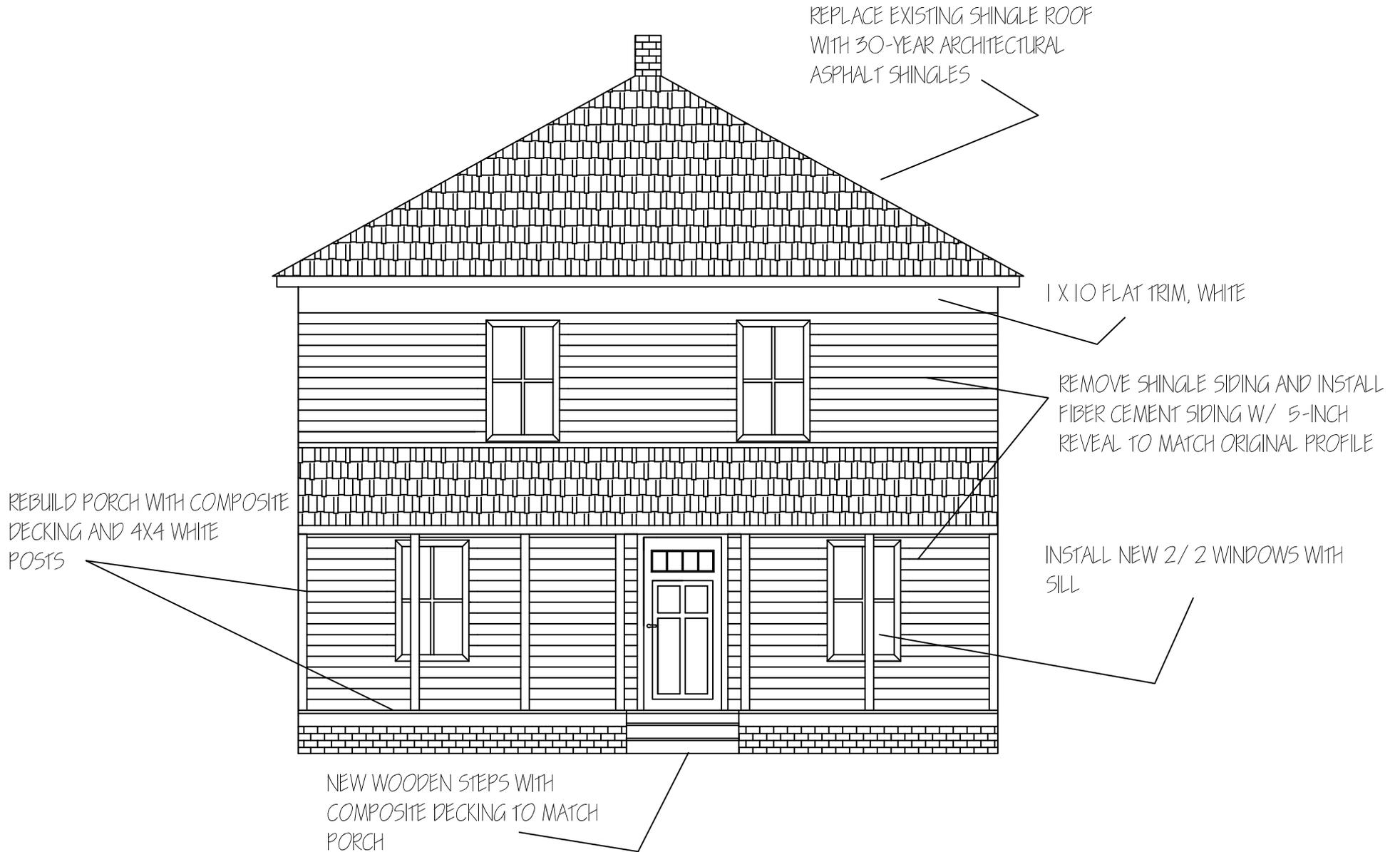


Exterior lighting: Simple black lantern-style wall light fixtures are proposed for installation where original lights were installed. This style of lighting is found throughout the district. Exact style may differ slightly.

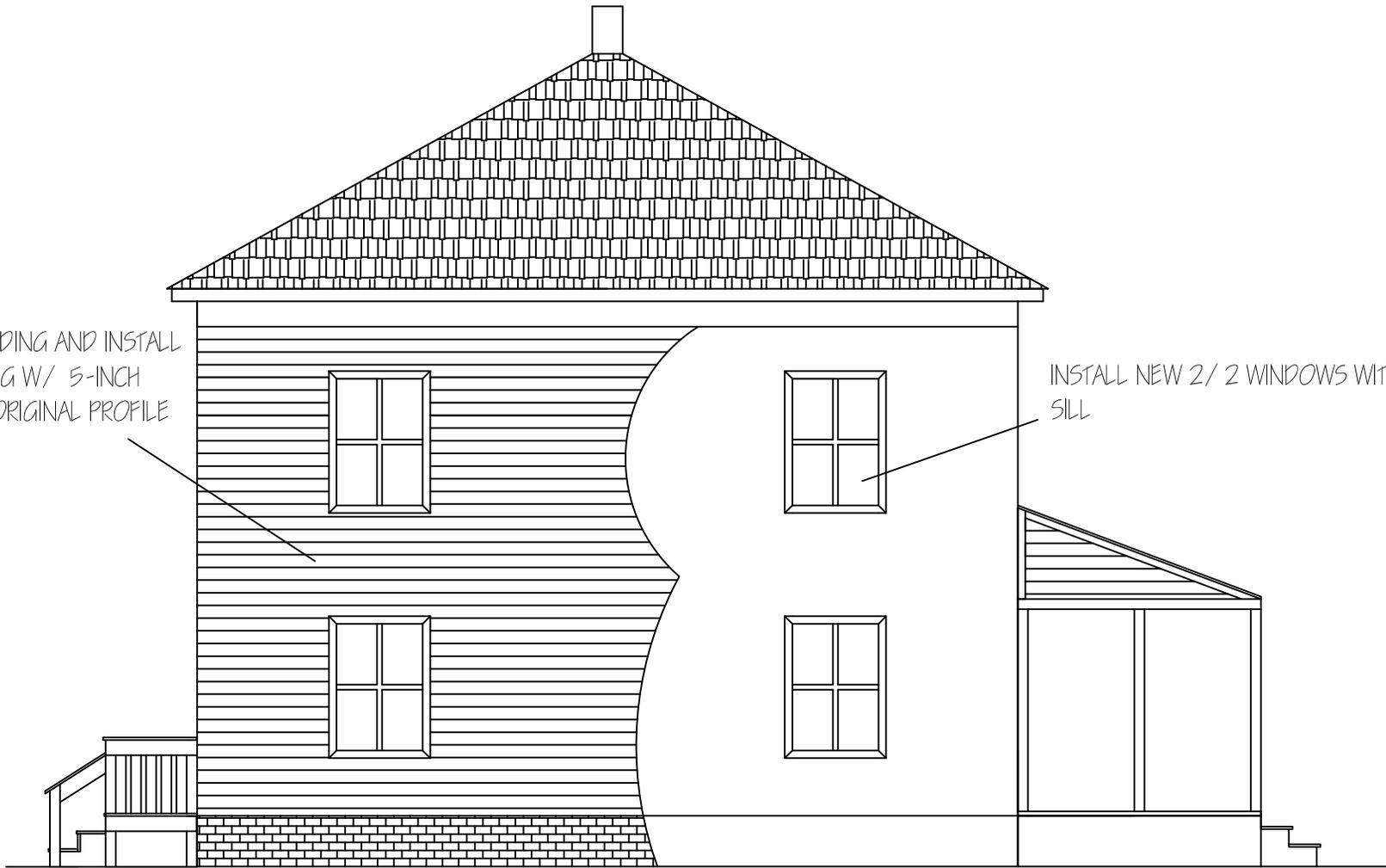


Recessed exterior grade lights are proposed for the front porch to provide unobtrusive lighting.





REMOVE SHINGLE SIDING AND INSTALL
FIBER CEMENT SIDING W/ 5-INCH
REVEAL TO MATCH ORIGINAL PROFILE



INSTALL NEW 2/2 WINDOWS WITH
SILL

Historic District Review Board Staff Report

From: Larry DiRe 
Date: December 13, 2016
Item: 4B – 401 Mason Avenue – roof; masonry repair; exterior painting; garage door replacement; Brise soleil wooden louvers installation; accessibility ramps and platforms.

Attachments: Application, site plan, project narrative, elevations, architectural drawings.

Application Specifics

An application has been received for a Certificate of Appropriateness from the property owners for renovations to a commercial, contributing structure. The property was formerly used as a gas station and auto repair garage. The property has two existing buildings, a cottage-style main building, and a three-bay garage attached by an external link structure. The design intent is to restore while rehabilitating for the new use. The project is approved for state and federal historic tax credits. According to the project narrative “All accretions shall be removed throughout and masonry patched, repaired and painted. The garage area will have display shelving, sitting area, kitchen area, check out/ control. The cottage will have display shelving and possibly a meeting room.” There will be on-site improvements into a small, landscaped parkette. All fencing is proposed to be removable and will not obstruct a street-level view of the buildings. The proposed free-standing sign is below the six-foot height limit for the Mason Avenue commercial district.

Discussion

The applicant has presented a detailed project narrative, comprehensive set of elevation drawings, and a current survey plat. The project is separated into work done on the “cottage” and work done on the “garage”. The cottage roof structure will be retained, but new tiles will be used to replace missing and damaged ones. Existing window shutters will be retained and repaired as necessary. This complies with the Guidelines (Element 8, page 40). The project narrative states that “all accretions shall be removed throughout and masonry patched, repaired, and repainted.” These activities conform to the masonry section of the Guidelines (Elements 2, 4, and 5, page 50). The garage section will maintain the three-bay industrial appearance. As an adaptive reuse project, this is in keeping with the Guidelines (Element 6, page 47). The left bay door is proposed as the principal entrance to the building and will retain sufficient glass and existing level of transparency. The brise soleil structure is not common in the district. While not a traditional sloped or box awning as described in the Guidelines (Elements 1 and 2, page 61), this structure meets the basic function of “shield window displays from the sun, conserve energy.” Staff finds such a structure appropriate for this particular project.

Recommendation

Review the attached materials and discuss any questions or concerns regarding the application. Decide whether the Board finds that a Certificate of Appropriateness is appropriate for the application.

Application for Historic District Review

Town of Cape Charles
2 Plum Street
Cape Charles, VA 23310
757-331-2036 Fax: 757-331-4820
planner@capecharles.org

Date: 11/17/16

Permit No.:

* Please attach checklist items

Fee: \$100.00

Modification Fee: \$50.00

Special Meeting Fee: \$125.00

Applicant: LEON PARHAM

Signature: [Handwritten Signature]

Address: 5377 MOCKHORN BAY DR City: CAPE CHARLES State: VA Zip: 23310

Telephone: 757 331 0591 Cell:

Email: RKTEK@ICLOUD.COM

Owner(s): CAROLLEE SARO & BETHANN SARO

Address: 2457 TOWNFIELD DR City: CAPE CHARLES State: VA Zip: 23310

Telephone: 703 789 7715 Cell:

Email: BETHANN@EASTERNSHOREDOG

Contractor: ROBERT BRIDGES

Address: City: State: Zip:

Telephone: Cell:

Email:

Town License No.: State License No.:

Location of Improvement: 901 MASON AVE

Lot No.: 602 & 577 Block No.: 8303 Lot Size: 40x 88.75 ft Lot Area: 7322 SF

Type of Improvement: HISTORIC RESTORATION & ADAPTIVE REUSE

Proposed Use: COFFEE SHOP / BOOK STORE

Estimated Construction Costs: 400,000.00

Dimension of Structure or Improvement: IRREGULAR SHAPE

Width: Length: Height:

Total Square Footage: 1620 SF

Structure of Improvement will be set back:

Table with 2 columns: Distance and Description. Rows include 60.8' from front property line, .57' from side property line, 10.16' from side property line on corner lot, 0 & 5.46' from rear property line, and NA from alley.

Town Water Permit:

Town Sewer Permit:

Application for Historic District Review

Town of Cape Charles
2 Plum Street
Cape Charles, VA 23310
757-331-2036 Fax: 757-331-4820
planner@capecharles.org

Applicant Checklist:

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- Completed signed application
- Application fee payable to "Town of Cape Charles"
- Site plan for any project proposing to alter the principal or accessory building footprint
- Scale drawings drawn to an appropriate scale of the site depicting the affected property and all buildings/structures
- Photos of existing/current structure
- Photos illustrating proposed project
- Material list (if applicable) including building materials, product descriptions and specifications

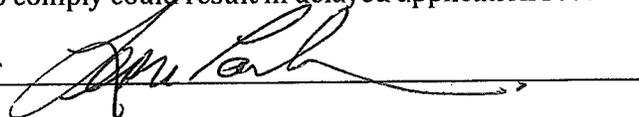
CERTIFICATION OF APPLICANT

I hereby certify that I have the authority to make the foregoing application, that the information given is true and correct, and that the construction or improvements will conform to the regulations in the Virginia Statewide Building Code, all pertinent Town Ordinances, including fire, sewer, and water ordinances, and private building restrictions, if any, which may be imposed on the property by deed. Furthermore, I certify that the changes to the improvement before or during construction will be provided to the Zoning Administrator and Building Official before such changes are constructed.

I understand that delinquent real estate taxes must be paid before any permits will be issued per Cape Charles Town Code Sec. 66-4.

I acknowledge that I have received the checklist of items to be submitted to the Town Planner for Historic District Review Board review. Failure to comply could result in delayed application review.

Signature of Owner/Contractor: ARCHITECT



11/23/2016

Peach Street Books
For -Beth Ann and Carol Lee Sabo
Architect- Leon Parham

401 Mason Avenue in Cape Charles Virginia is in the Cape Charles Historic and C-1 Commercial Districts. It was built as a Pure Oil Gas Station in the 1920's in the ubiquitous "Cottage Style" as seen all across America. This structure has a 3 bay garage appended to it built in the about 1950. Connection to the cottage is through an original irregularly shaped "link" on the North side.

This is an Historic Tax Credit project and has received part 1 & 2 State and Federal approval, final approval is contingent on part 3 submittal & review upon completion of construction. The drawings submitted to the Cape Charles Historic Review Board reflect this approved design.

Design issues: (historic restorations and rehabilitation guidelines, code requirements, environmental compliance.)

Site-

The site is to retain an industrial look, not overly treed or planted. Any fencing is to be removable and should not hide the façade.

Buildings-

Much of the original "cottage" building is original and shall be restored.

The garage portion is part of the project but not subject to as rigorous historic requirement because of the construction date. It is to retain its industrial appearance.

Environmental-

The fuel tanks are removed.

The site is now over 95% impervious with the proposed work will bring more into line with CBPA requirements.

Insulation will be done in keeping with historic requirements.

Accessibility-

The new use is to be accessible. The "cottage portion is not accessible in terms of doors and access to floor levels. The garage offers the opportunity comply with all accessibility issues through out.

The project is to be an adaptive reuse to a book store and coffee shop/restaurant. The design intent is to restore while rehabilitating for the new use. All accretions shall be removed throughout and masonry patched, repaired and painted. The garage area will have display shelving, sitting area, kitchen area, check out/ control. The cottage will have display shelving and possibly a meeting room.

The site development will provide auto ingress on Mason, a small drive through 5 car parking and drop off area and egress onto Peach. The pedestrian entrance to the complex will be in the left garage door opening. The other 2 openings will have a fenced outdoor sitting area accessed from the interior only. There will be a small "parklette" at the southwest corner of Mason and Peach with low plantings and signage. The site will have significant concrete removal to provide adequate drainage and planting space.

The cottage restoration will include all extant copper repair and restoration. All windows and doors will be retained and have "energy panels" attached. The extant tile roof will be repaired, paint removed and restored to its original color. The rear steep roof is a modern shingle replacement and will be repaired. The garage will have the overhead doors replaced with contemporary aluminum and glass store front with person doors as shown. The mullions shall replicate the original over head door panels. The Brise soleil over the garage door openings will take advantage of solar heat gain in the winter and block the summer sun. The garage will have roof top insulation allowing the interior industrial appearance remain. The necessary ramp and platforms to provide access to the cottage area and a new accessible bath will all be located in the garage area. The garage will have furred walls for insulation and power distribution.

The final product will not only be a beautiful addition to the commercial area but an important step in reinvigorating East Mason.

Beth Ann and Carol Sabo

Peach Street Books - Restoration/Renovation

401 Mason Avenue, Cape Charles, VA



1.1 DESCRIPTION OF THE PROJECT AND ARCHITECTURAL CONTEXT

A. This project consists of the renovation and restoration of an existing 1 story masonry building in the Cape Charles Historic District. This is an historic tax credit project and shall conform to the Secretary of the Interior's Guidelines for Rehabilitation as well as the town Guidelines. Plans are drawn & approved to be in conformance, any changes must be approved by the Historic District.

1.2 PROJECT SCOPE AND CONSTRUCTION LIMITS

A. The project shall be limited to areas shown in plans. Contractor shall comply with all applicable codes and ordinances.

1.3 SCOPE OF WORK

A. The scope of the project is shown and described in as great a detail as is practicable in the drawings and these specifications.
 B. It is the intention of these drawings and specifications that all labor and materials required for this project whether or not specifically shown or specified shall be furnished and installed so that the new residence when turned over to the Owner will be ready for continuous and satisfactory occupancy.
 C. The Contractor is limited to make suggestions and recommendations about different methods of accomplishing the work. The Contractor is responsible for calling to the Architect and Owner's attention work not specifically called for which, in his opinion should be considered at the time.
 D. In general, written dimensions take precedence over scaled dimensions. Any discrepancies in the plans shall be brought to the Architect's attention and resolved prior to construction.

1.4 EXAMINATION OF SITE

A. The Contractor shall be responsible for examining the site. The determination of the soil, underground conditions, water, access, utilities and other conditions not otherwise indicated in the contract documents, but affecting the execution of the program is the responsibility of the Contractor.

1.5 APPROVED QUALITY AND SUBMITTALS

A. Specified manufacturers shall be considered the standard for items called for. Equals will be considered by the Architect upon submission of substitute manufacturer's literature, specifications and samples if required.

1.6 DELIVERY, STORAGE AND HANDLING MATERIAL

A. Materials shall be stored and handled with appropriate protection and care to prevent damage. Damaged materials shall not be installed if the damage is objectionable aesthetically, structurally or functionally.
 B. Contractor shall be responsible for the ordering and delivery of materials so as not to impede the progress of the project.

1.7 INSTALLATION AND FINISHING MATERIALS

A. Installation and finishing of materials shall be as recommended and specified by the manufacturer, whether or not the procedures are detailed in these specifications.

1.8 PROTECTION

A. Adjacent property: Contractor shall take all reasonable precautions to protect adjacent properties from damage due to this project. Contractor shall be responsible for repair and/or settlement of any such damage.
 B. This property: Contractor shall take all reasonable precautions to protect this site from damage and loss due to work performed under this contract. Contractor shall be responsible for repair and/or replacement of any such damage.

1.9 SITE MAINTENANCE

A. During construction, the Contractor shall keep the area free from excess trash and shall maintain the area as neatly as possible for safety, health and appearance.

B. Upon completion the Contractor shall clean the premises thoroughly, removing all construction debris, dust, broom and or vacuum etc. Wash all glass and appropriate surfaces.

1.10 SITE SAFETY AND PROTECTION

A. Job safety is the sole responsibility of the Contractor and he shall conform to the safety requirements of all applicable authorities.

1.11 GUARANTEES

A. The Contractor shall guarantee his workmanship and the workmanship of the subcontractors for a period of one (1) year after the project is completed.

B. The Contractor shall provide the new owner all guarantees and warranties provided by the several manufacturers.

1.12 TEMPORARY FACILITIES

A. Structure: The Contractor shall provide sufficiently safe ramps, scaffolds, hoists, shoring, and guarantees as required to accomplish the work in this contract.

B. Temporary utilities: 1. Heat- provide safe temporary heat as required for the work of the various trades.
 2. Electricity and Water- Contractor shall coordinate with power company for temporary services as required.
 3. Toilet- Contractor shall provide temporary facilities.

1.13 REGULATIONS AND PERMITS

A. All work shall be in conformance with the regulations of all authorities having jurisdiction.
 B. Contractor shall obtain and pay for all required permits. Contractor shall obtain and pay for all required inspections.

Division 2- Site Work

1.0 DEMOLITION

A. Any items shall be done so as not to disturb adjacent existing construction, where so required.
 1. Provide temporary weather protection as required.
 2. Remove temporary wall or ceiling UOI. Prepare any damaged surface for repair.

1.1 EARTHWORK

A. Excavation: (Earthwork consists of excavating, filling, grading and seeding)
 1. Excavate to elevations, and dimensions indicated and normal practice dictates.
 2. Remove topsoil from areas to be excavated and stock pile for future use.
 3. Contractor shall control the grading around the building so that ground is pitched to keep water from running into excavations. Maintain all trenches and pits where footings are to be placed free of water. Provide pumping machinery to keep excavated areas free of water during construction.

1.2 FILLING

1. Remove from areas to be filled all debris subject to permit attack, rot, or corrosion and all discarded construction material such as blocks, concrete, or mortar.
 2. Excavated material that is suitable may be used for fill and backfill, as required. All surplus excavated material not required for grading etc. shall be removed from the site.
 3. Fill and backfill shall be compacted to a dry density of at least 95% of the modified Proctor maximum dry density (ASTM C-157).
 4. The composition shall be accomplished by placing the fill in essentially level lifts of not more than 6" and mechanically compacting each lift to at least specified dry density.

1.3 GRADING

1. Do all filling, compaction of fills and rough grading required to bring the areas outside inside the building to subgrades for finish grades as shown.
 2. Finish grading of all areas where work is to be performed, including excavated and fill sections and adjacent transition areas shall be necessarily smooth, compacted and free from irregular surface changes and free of debris.
 3. Finish grading around structures shall pitch away from structure, crevices, etc.
 4. Seeding and planting by others.

1.4 PAVING MATERIALS

A. Saw cut and remove paving from areas shown to be planted.

Division 3- Concrete

1.1 WALLS

A. In general existing to remain, repair as required in kind.
 B. Regular wall board or new walls to be 1/2" thick with tapered edges by the longest practicable length to minimize joints. Use WR or green board in damp locations. Wonderboard or equal at wet locations behind tile or marble.
 C. Trim accessories - Corner bead- USG
 D. Joint treatment
 Tapes and compound shall be by acrylic manufacturer as the board.
 E. Fasteners
 Nails and or screws used for fastening board shall be of size, type and spacing recommended by the manufacturer for the specific location and use.
 F. Installation
 Installer shall inspect all parts of the supporting structure and notify contractor or correct any condition detrimental to the application.
 Follow manufacturer's recommendation and specification for installation and trim.
 All joints shall be sealed smooth and finish work shall appear monolithic and be cleaned prior to painting. Any reworking of joints and or nail pops shall be repaired to the satisfaction of the Owner.

1.2 DOORS

A. Interior door existing or as shown, see schedules.
 B. Exterior doors to be existing or as shown, see schedules.

1.3 FINISH HARDWARE

A. Reuse original hardware where possible, replicate as shown.

1.4 WINDOWS AND GLASS

A. Existing to remain, repair as required. Provide fixed storms at windows. Storms shall be removable for maintenance.

Division 5- Finishes

1.1 WALLS

A. In general existing to remain, repair as required in kind.
 B. Regular wall board or new walls to be 1/2" thick with tapered edges by the longest practicable length to minimize joints. Use WR or green board in damp locations. Wonderboard or equal at wet locations behind tile or marble.
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1.4 WINDOWS AND GLASS

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Division 6- Wood and Plastics

1.1 ROUGH CARPENTRY

A. All lumber shall conform to American Soft Wood Lumber Standard PS-20-70, ASTM D 245 Visual grading rules and shall bear the grade mark of National Forest Products Association approved agency.
 B. All lumber shall be S4S, surfaced four sides, unless otherwise noted.
 C. Moisture content of lumber 2" or less in thickness shall be 10% or less at time of drying.
 D. Roof and wall framing shall be adequately braced against lateral and other forces during construction.
 E. Unless otherwise shown, all structures shall comply with International Residential code as a minimum for all timber connections.
 F. Framing lumber including roof sheathing to be in accordance with the standards and specifications of the American Institute of Timber Construction, AITC framing lumber shall be as follows:
 1. minimum bending stress shall be 1200 psi
 2. light framing #2
 3. plates, blocking and rafters #2
 4. studs, load and non-loadbearing #2
 5. 2x4 and wider plates, blocking and rafters #2
 6. posts and columns #2
 7. boards- suitable for intended use by normal carpentry standards.
 G. Treated lumber:
 All wood used in contact with concrete or masonry, below grade or embedded therein and where indicated on the drawings shall be treated on all surfaces, including field ends with preservative OX wood preservatives and shall bear the logo mark "Nonretarded" by Koppers Co. Inc., or equal.
 H. Provide structural connections by TCCO or Simpson Strongtie or equal. Provide hurricane ties at each rafter, joist hangers, post bases etc. shall be size and type as required for the installation.

1.2 FINISH CARPENTRY

A. Interior wood work per finish sheets.
 B. All interior wood trim, see drawings.
 C. All exterior trim to be restored or as shown
 D. Existing shutters shall be repaired. Replace in kind any rotted planks or bottoms

Division 7- Thermal and Moisture Protection

1.1 GENERAL

A. It is the intention of this project to create water and air tight building envelope. The following special considerations shall be made:
 1. Seal walls at openings created by incoming or outgoing services. Insulate as shown.
 2. Insulation in exterior walls as shown, shall run behind electrical boxes, piping, etc. for a continuous barrier and shall have vapor barrier.
 3. All voids around windows and doors shall be filled.

1.2 INSULATION

A. All materials shall be Owens Corning or equal. Always install with vapor barrier toward the warm (heated) side. Install in accordance with manufacturer specifications.
 B. Schedule:
 1. In exterior walls & floors 6" R-19 min. batt with vapor barrier.
 2. In ceiling/attic 9" R-30 min. batt with vapor barrier.
 3. In interior walls at bedrooms unfaced-sound attenuation blankets, 3 1/2" typical.
 4. Roof insulation @ garage and ling shall be surface mounted, mechanical fastened, per mfr R-25

1.3 CAULKING

A. Primers used in caulking shall be of type, material and color appropriate to the installation.
 B. Follow manufacturer recommendations and specifications in regard to use of primers and surface conditions, required for optimum adhesion and water resistant conditions.
 C. Caulk at all windows and doors, joints, dissimilar materials and elsewhere to create a watertight condition.
 D. Tool joints immediately to assure maximum contact between caulk and substrate.
 E. Caulking shall have a smooth even appearance and finish.

1.4 ROOFING

A. Existing sloped tile roof to be repaired. Rear slope to be repaired, provide new flat membrane at flat roof areas
 B. Missing rake tiles and ridge tiles shall be replaced in kind and painted to match original

Division 8- Doors and Windows

1.1 DOORS

A. Interior door existing or as shown, see schedules.
 B. Exterior doors to be existing or as shown, see schedules.

1.2 FINISH HARDWARE

A. Reuse original hardware where possible, replicate as shown.

1.3 WINDOWS AND GLASS

A. Existing to remain, repair as required. Provide fixed storms at windows. Storms shall be removable for maintenance.

Division 9- Finishes

1.1 WALLS

A. In general existing to remain, repair as required in kind.
 B. Regular wall board or new walls to be 1/2" thick with tapered edges by the longest practicable length to minimize joints. Use WR or green board in damp locations. Wonderboard or equal at wet locations behind tile or marble.
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1.4 WINDOWS AND GLASS

A. Existing to remain, repair as required. Provide fixed storms at windows. Storms shall be removable for maintenance.

Division 10- Specialties

1.1 BATHROOM APPLIANCES

A. Provide all bathroom fittings, fixtures and accessories see interior elevations.

Division 11- Equipment

1.1 MECHANICAL / ELECTRICAL

A. Provide all appliances, coordinate with cabinets.

Division 15/16 Mechanical / Electrical

1.1 GENERAL NOTES

A. These notes and requirements govern the work of the mechanical and electrical divisions.
 B. Architectural drawings indicate wiring and HVAC for guidance only. Contractors are responsible for code conforming installation.
 Coordinate work with local cable TV, telephone company, LAN, and other utilities for installation and final location.
 C. Provide 3 zone HVAC. Collage to have suspended hvac in attic. Ask to have mini split garage to have suspended ducting ducted from c/g. All compressors to be placed on pads in the "cave".
 1.2 PERMITS, FEES AND CODES
 A. The Contractor shall obtain and pay for all permits and inspections required and all fees required by any local authority or utility for new work under the contract.
 B. Work shall conform to all applicable codes, ordinances and regulations.
 C. Contractors shall be licensed.
 D. Contractor shall be responsible for design and installation of their work.
 All work to conform to current standards applicable.
 1.3 WORKMANSHIP
 A. All materials and equipment shall be installed in a first class and workman like manner and in compliance with the best methods and practices.
 B. No beams, columns, structural members, etc. shall be cut for the passage of piping, ducts, conduits, etc. without consultation with Architect.
 C. All wiring, ducts, etc. shall be run concealed.

1.2 RAINING

A. Contractor shall supply the Owner with color selection for the paint to be used. Acceptable manufacturers are:
 Valspar
 Benjamin Moore
 Sherwin Williams or equal
 B. No painting shall be done when the temperature is below 50 degrees.
 C. Contractor shall take all necessary precautions to protect other work already installed.
 D. All painted surfaces to be smooth, free of dirt, oil, wax, and dust.
 E. All materials used for painting and resultant debris shall be removed from the site. Provide owner with plans for touch ups.
 F. Contractor shall touch up the work, clean all splatters, glass, smears etc. for a first class product.
 G. Schedule
 Interior
 Gypsum board/plaster- 1 cool primer
 2 coats latex flat
 Gypsum board-bathroom 1 cool primer
 2 coats semi gloss
 Wood work 2 coats semi gloss
 Exterior CMU 2 coats exterior latex
 Exterior brick carefully scrape loose paint trim to receive 1 cool primer and 2 coats semi gloss
 Floor scrape, patch as req'd concrete to be exposed, patch and seal new wood floor to be sealed and 2 coats poly
 Roof tiles existing Carefully scrape loose paint, low pressure wash tiles in place
 Roof tiles new Light sand new tiles, paint with epoxy bonding paint, match existing color with high gloss enamel

1.4 FLOORING

A. Flooring to be existing concrete unless otherwise noted, patch as req'd and patch.
 B. New raised floor area to have 3/4" subfloor and 3/4" hardwood finish floor as detailed.

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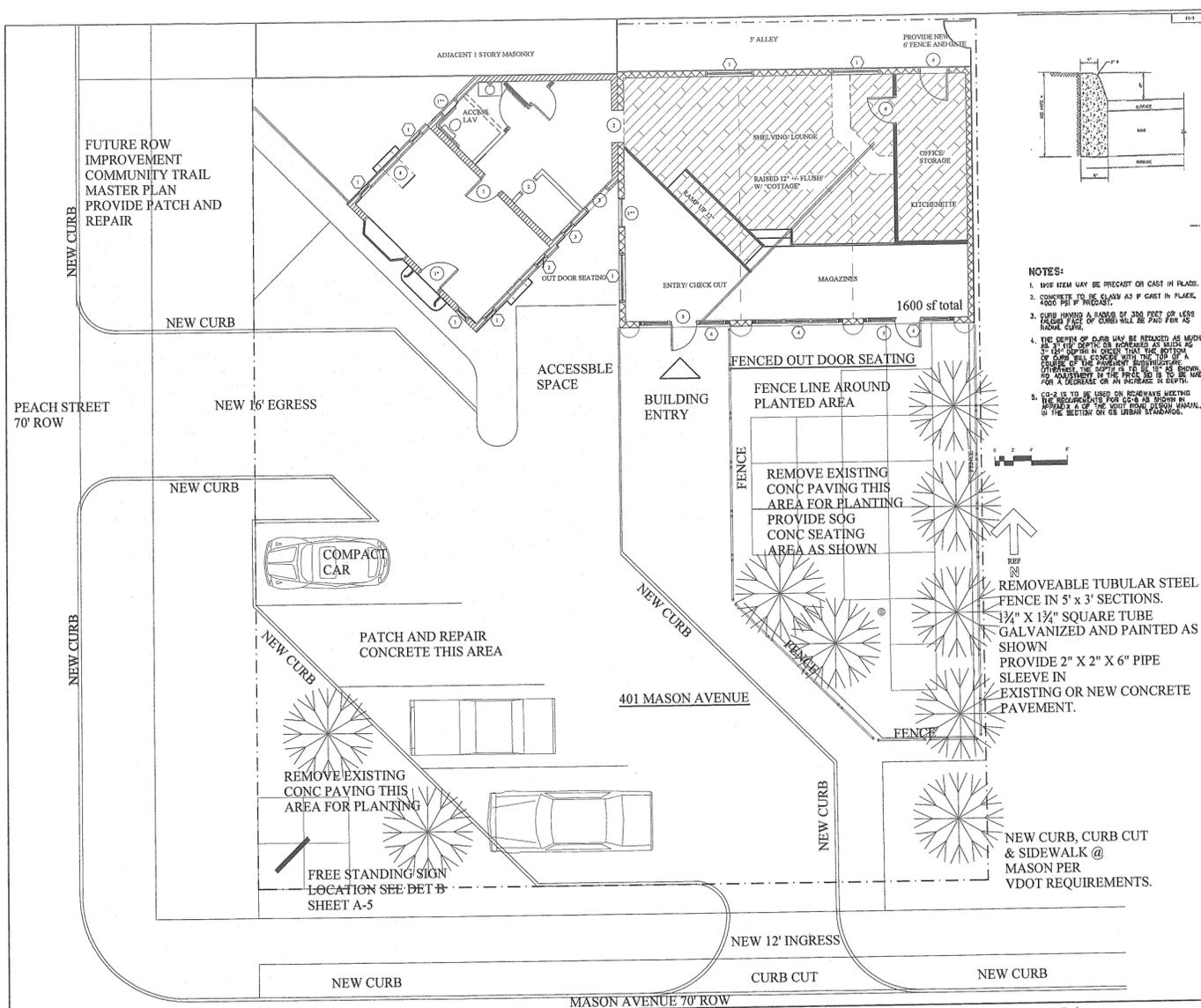
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Division 10- Specialties

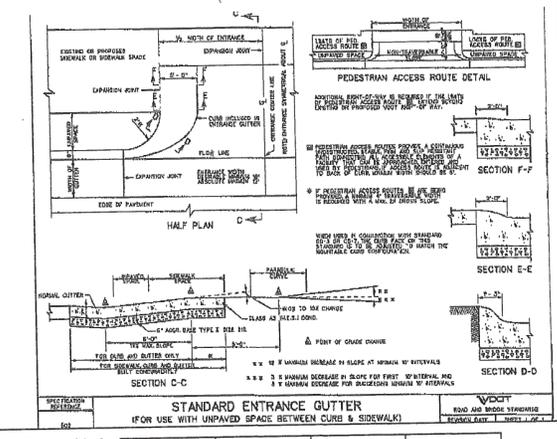
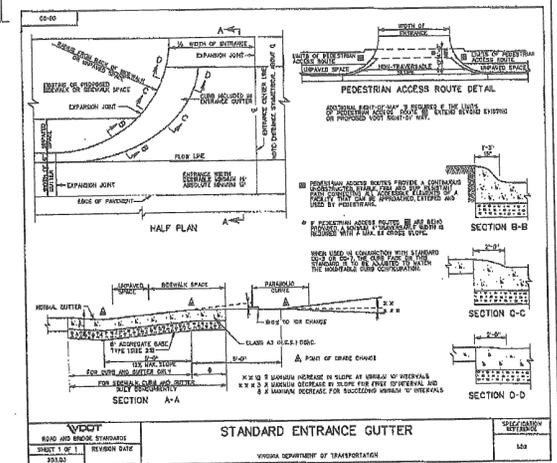
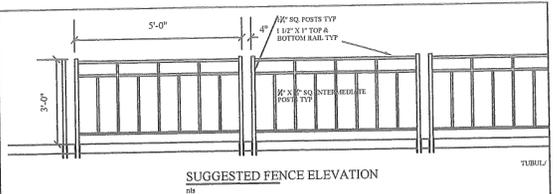
1.1 BATHROOM APPLIANCES



- NOTES:**
1. THIS ITEM MAY BE PRECAST OR CAST IN PLACE. CONCRETE TO BE FLASH AS IF CAST IN PLACE. ADD 10# P REINFC.
 2. CURB FINISH & GRADE OF 200 FEET OR LESS SHALL BE CURB. CURB SHALL BE PAID FOR AS SHOWN.
 3. THE DEPTH OF CURB MAY BE REDUCED AS MUCH AS 1" FOR EACH 10' INCREASE IN WIDTH AS LONG AS THE CURB IS NOT LESS THAN 12" DEEP. THE DEPTH OF CURB SHALL BE 12" MINIMUM. NO ADJUSTMENT OF THE PRICE IS TO BE MADE FOR A DECREASE OR AN INCREASE IN DEPTH.
 4. CO-2 IS TO BE USED ON RETAINING WALLS MEETING THE REQUIREMENTS FOR C-8 AS SHOWN IN SECTION A-A OF THIS SHEET. PER SECTION B-B, OF THE SECTION ON 68 URBAN STANDARD.

REMOVEABLE TUBULAR STEEL FENCE IN 5' X 3' SECTIONS. 1 3/4" X 1 1/4" SQUARE TUBE GALVANIZED AND PAINTED AS SHOWN. PROVIDE 2" X 2" X 6" PIPE SLEEVE IN EXISTING OR NEW CONCRETE PAVEMENT.

NEW CURB, CURB CUT & SIDEWALK @ MASON PER VDOT REQUIREMENTS.



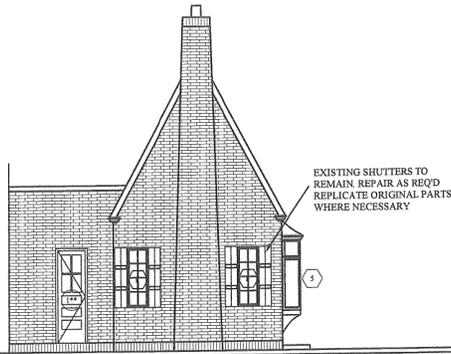
PARHAM
 5377 MOCKHORN BAY DRIVE, CAPE CHARLES VIRGINIA 23310-2184
 757-331-0391 - info@parham.com
 PARHAM ARCHITECT, R.A., NCARB
 www.parhamarchitect.com

401 Mason Avenue, Cape Charles, VA
 Peach Street Books

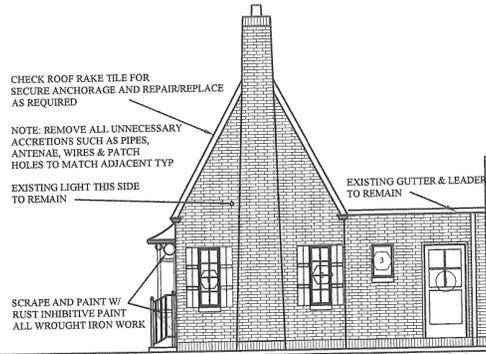
SITE PLAN & DETAILS

8/23/16
 10/14/16
 201511

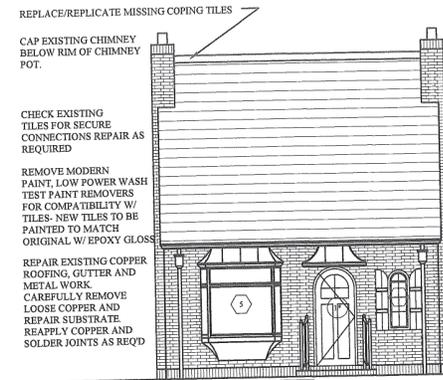
LP	4/11/16		SP-1
	3/16" = 1'		



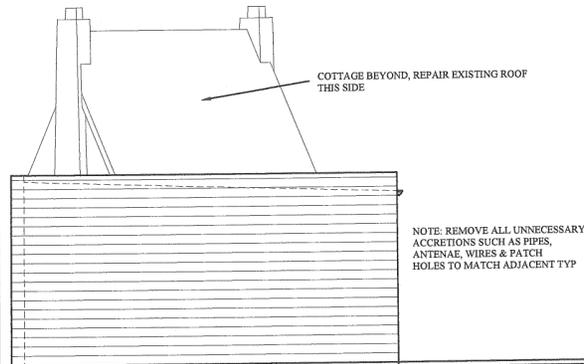
NORTH WEST ELEVATION



SOUTH EAST ELEVATION



SOUTH WEST ELEVATION



EAST ELEVATION



SOUTH ELEVATION



PARHAM

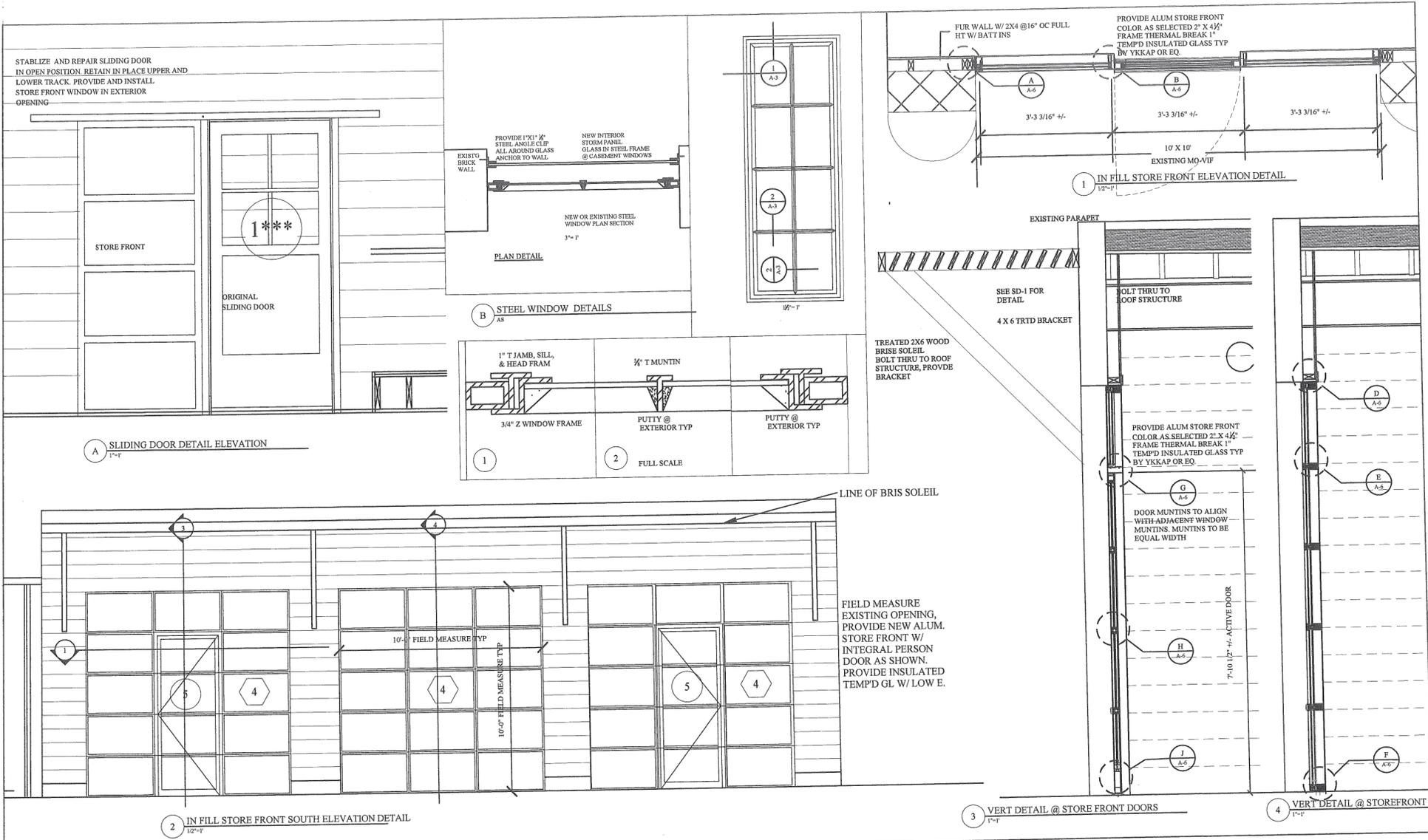
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401 Mason Avenue, Cape Charles, VA- Restoration/Renovation
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EXTERIOR ELEVATIONS

10/14/16
201511

LP	4/11/16		A-2
	1/4" = 1'		



STABILIZE AND REPAIR SLIDING DOOR IN OPEN POSITION. RETAIN IN PLACE UPPER AND LOWER TRACK. PROVIDE AND INSTALL STORE FRONT WINDOW IN EXTERIOR OPENING.

STORE FRONT

ORIGINAL SLIDING DOOR

PROVIDE 1"x1" 1/2" STEEL ANGLE CLIP ALL AROUND GLASS ANCHOR TO WALL

NEW INTERIOR STORM PANEL GLASS IN STEEL FRAME @ CASERMENT WINDOWS

NEW OR EXISTING STEEL WINDOW PLAN SECTION

PLAN DETAIL

B STEEL WINDOW DETAILS AS

1" T JAMB, SILL, & HEAD FRAM

3/4" T MUNTIN

3/4" Z WINDOW FRAME

PUTTY @ EXTERIOR TYP

PUTTY @ EXTERIOR TYP

1

2

FULL SCALE

FUR WALL W/ 2X4 @ 16" OC FULL HT W/ BATT INS

PROVIDE ALUM STORE FRONT COLOR AS SELECTED 2" X 4 1/2" FRAME THERMAL BREAK 1" TEMP'D INSULATED GLASS TYP BY YKKAP OR EQ.

1 IN FILL STORE FRONT ELEVATION DETAIL 1/2"=1'

EXISTING PARAPET

SEE SD-1 FOR DETAIL

4 X 6 TRTD BRACKET

TREATED 2X6 WOOD BRISE SOLEIL BOLT THRU TO ROOF STRUCTURE, PROVIDE BRACKET

PROVIDE ALUM STORE FRONT COLOR AS SELECTED 2" X 4 1/2" FRAME THERMAL BREAK 1" TEMP'D INSULATED GLASS TYP BY YKKAP OR EQ.

DOOR MUNTINS TO ALIGN WITH ADJACENT WINDOW MUNTINS. MUNTINS TO BE EQUAL WIDTH

7'-10 1/2" ± ACTIVE DOOR

FIELD MEASURE EXISTING OPENING, PROVIDE NEW ALUM. STORE FRONT W/ INTEGRAL PERSON DOOR AS SHOWN. PROVIDE INSULATED TEMP'D GL W/ LOW E.

2 IN FILL STORE FRONT SOUTH ELEVATION DETAIL 1/2"=1'

3 VERT DETAIL @ STORE FRONT DOORS 1"=1'

4 VERT DETAIL @ STOREFRONT 1"=1'



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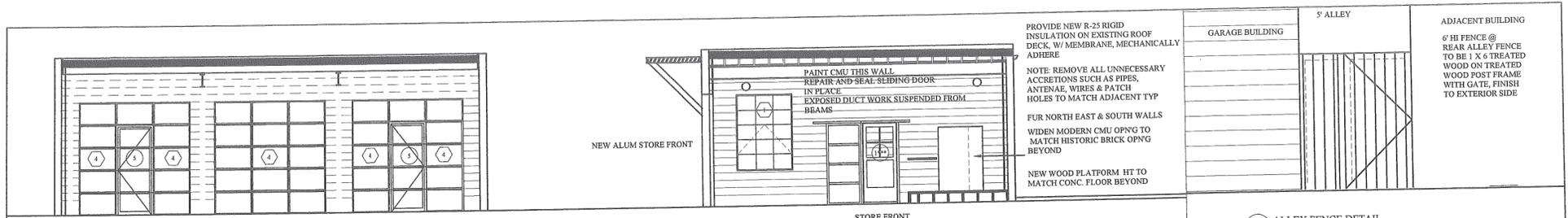
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Peach Street Books

WINDOW ELEVATIONS AND DETAILS

10/14/16
201511

LP	4/11/16		A-3
AS	AS		



A SECTION LOOKING SOUTH
1/4"=1'

B SECTION LOOKING WEST
1/4"=1'

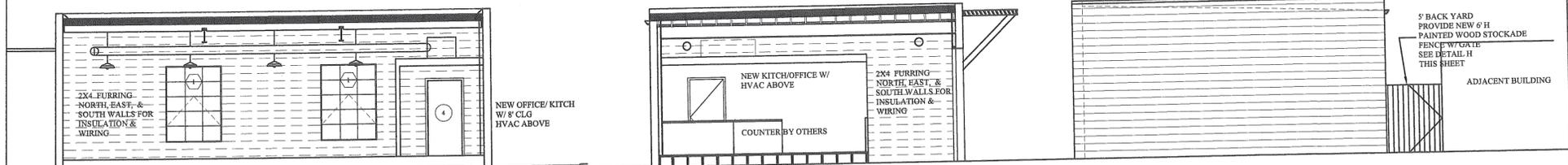
H ALLEY FENCE DETAIL
1/2"=1'

PROVIDE NEW R-25 RIGID INSULATION ON EXISTING ROOF DECK, W/ MEMBRANE, MECHANICALLY ADHERE
NOTE: REMOVE ALL UNNECESSARY ACCRETIONS SUCH AS PIPES, ANTENAE, WIRES & PATCH HOLES TO MATCH ADJACENT TYP
FUR NORTH EAST & SOUTH WALLS
WIDEN MODERN CMU OPNG TO MATCH HISTORIC BRICK OPNG BEYOND
NEW WOOD PLATFORM HT TO MATCH CONC. FLOOR BEYOND

GARAGE BUILDING

5' ALLEY

ADJACENT BUILDING
6' H FENCE @ REAR ALLEY FENCE TO BE 1 X 6 TREATED WOOD ON TREATED WOOD POST FRAME WITH GATE, FINISH TO EXTERIOR SIDE



C SECTION LOOKING NORTH
1/4"=1'

D SECTION LOOKING EAST
1/4"=1'

E EAST ELEVATION
1/4"=1'

2X4 FURRING - NORTH, EAST, & SOUTH WALLS FOR INSULATION & WIRING

NEW OFFICE/ KITCH W/ 8' CLG HVAC ABOVE

NEW KITCH/OFFICE W/ HVAC ABOVE
COUNTER BY OTHERS

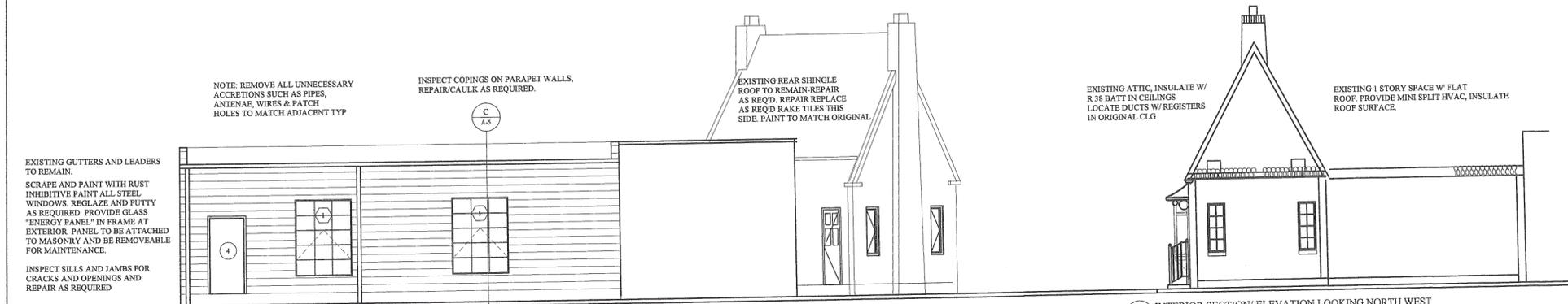
2X4 FURRING - NORTH, EAST, & SOUTH WALLS FOR INSULATION & WIRING

PARAPET WALL LINE OF SLOPED ROOF BEYOND

5' BACK YARD PROVIDE NEW 6' H PAINTED WOOD STOCKADE FENCE W/ GATE SEE DETAIL H THIS SHEET

ADJACENT BUILDING

RAISED PLATFORM AS SHOWN LEVEL W/ HISTORIC BUILDING RUN WIRING AND PLUMBING AS NECESSARY



F NORTH ELEVATION
1/4"=1'

G INTERIOR SECTION/ ELEVATION LOOKING NORTH WEST
1/4"=1'

NOTE: REMOVE ALL UNNECESSARY ACCRETIONS SUCH AS PIPES, ANTENAE, WIRES & PATCH HOLES TO MATCH ADJACENT TYP

INSPECT COPINGS ON PARAPET WALLS, REPAIR/CAULK AS REQUIRED.

EXISTING REAR SHINGLE ROOF TO REMAIN-REPAIR AS REQ'D, REPAIR/REPLACE AS REQ'D RAKE TILES THIS SIDE. PAINT TO MATCH ORIGINAL

EXISTING ATTIC, INSULATE W/ R 38 BATT IN CEILINGS
LOCATE DUCTS W/ REGISTERS IN ORIGINAL CLG

EXISTING 1 STORY SPACE W/ FLAT ROOF. PROVIDE MINI SPLIT HVAC, INSULATE ROOF SURFACE.

EXISTING GUTTERS AND LEADERS TO REMAIN.
SCRAPE AND PAINT WITH RUST INHIBITIVE PAINT ALL STEEL WINDOWS. REGLAZE AND PUTTY AS REQUIRED. PROVIDE GLASS 'ENERGY PANEL' IN FRAME AT EXTERIOR. PANEL TO BE ATTACHED TO MASONRY AND BE REMOVEABLE FOR MAINTENANCE.
INSPECT SILLS AND JAMBS FOR CRACKS AND OPENINGS AND REPAIR AS REQUIRED



PARHAM
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www.parhamarchitect.com

401 Mason Avenue, Cape Charles, VA
Peach Street Books
ELEVATIONS & BUILDING SECTIONS

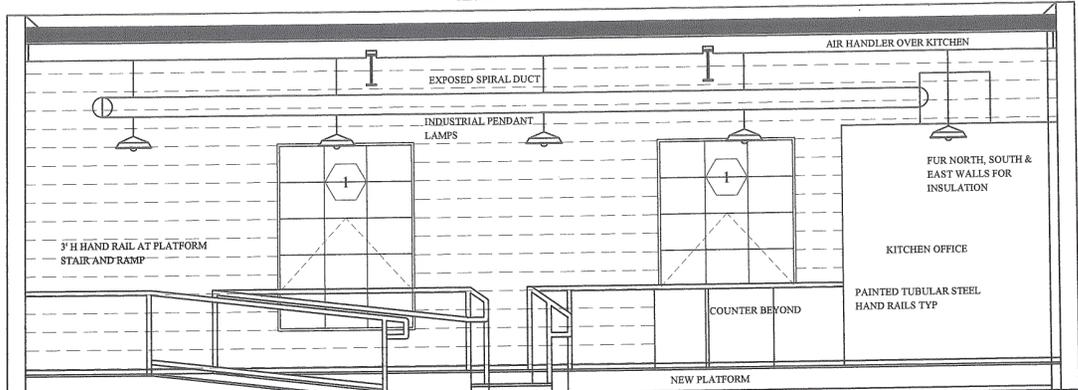
10/14/16
201511

LP	4/11/16
	1/4"=1'

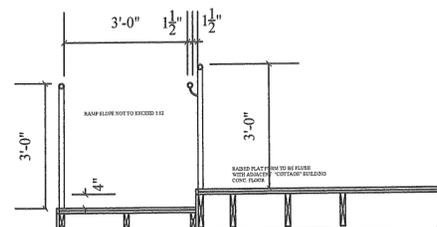


A-4

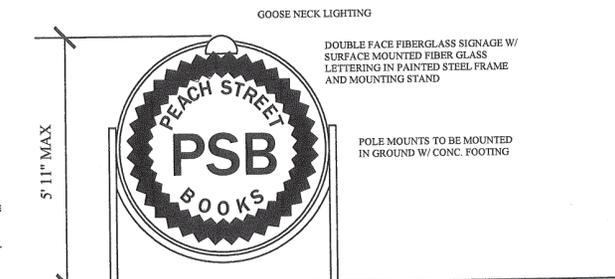
PROVIDE R-25 MINIMUM RIGID OVER EXISTING ROOF SHEATHING MECHANICAL FASTEN MEMBRANE SURFACE



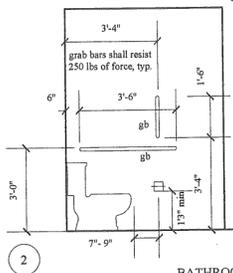
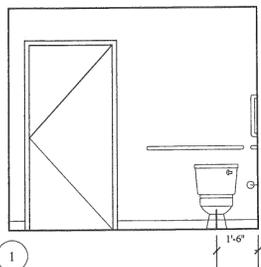
A INTERIOR ELEVATION LOOKING NORTH 12'-1"



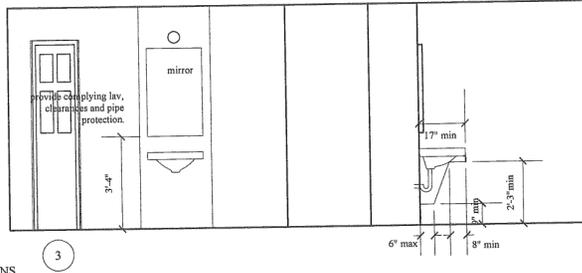
AA RAMP & PLATFORM DETAIL 34'-1"



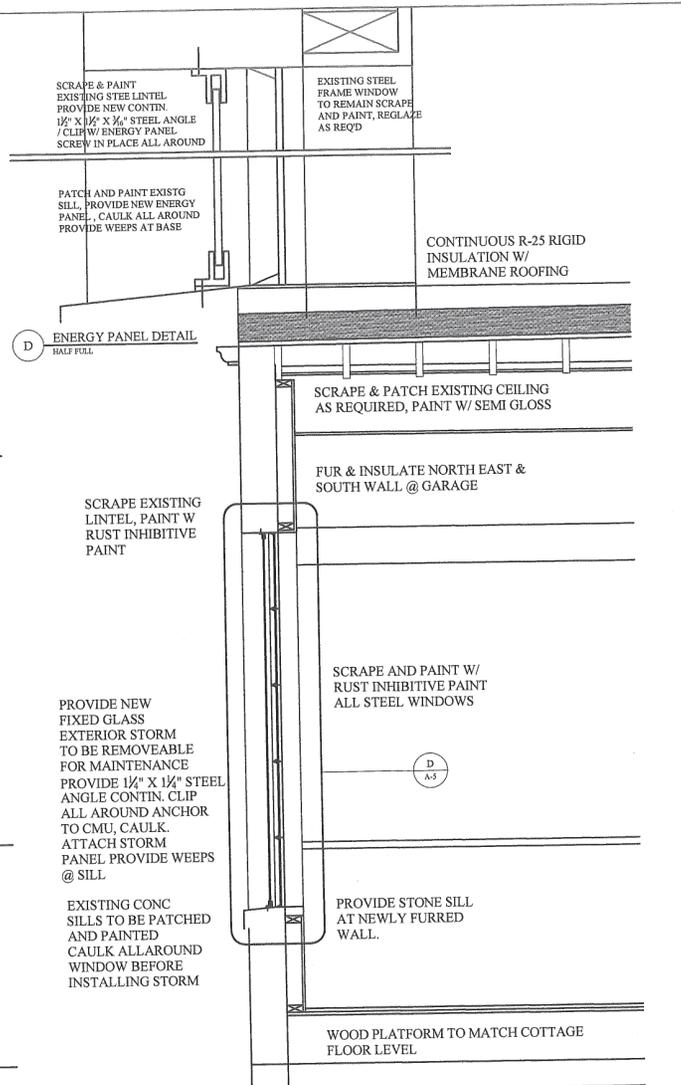
B FREE STANDING SIGN 34'-1"



BATHROOM ELEVATIONS 12'-1"



3



C STEEL WINDOW DETAIL 1'-5"



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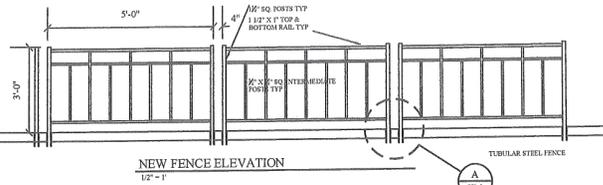
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INTERIOR ELEVATIONS, DETAILS & SIGNAGE

10/14/16

201511

LP	4/11/16		A-5
	AS		



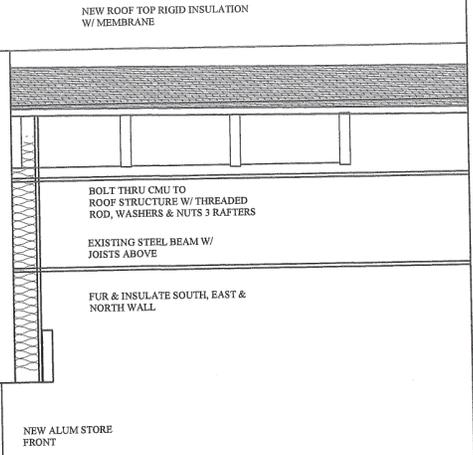
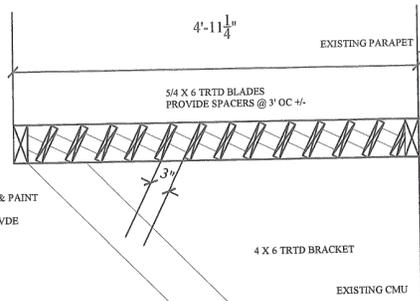
A FENCE ANCHOR DETAIL
3\"/>

DRILL EXISTING CONC SLAB TO RECEIVE SLEEVE

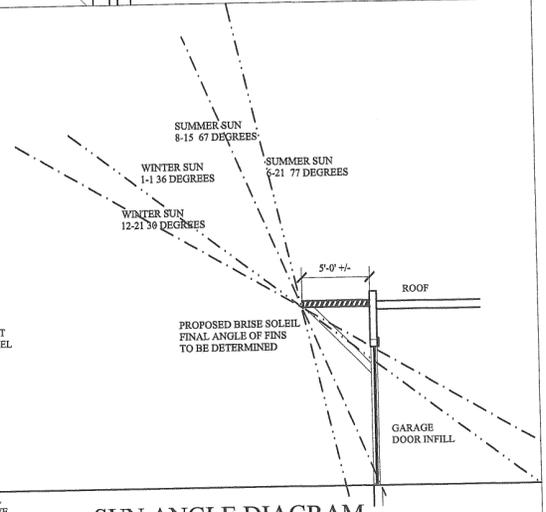
2\"/>

TREATED WOOD BRISE SOLEIL- PRIME & PAINT BOLT THRU TO ROOF STRUCTURE AND PROVIDE BRACKET

1 SECTION DETAIL @ PROPOSED BRISE SOLEIL
1/2\"/>



SOUTH ELEVATION



SUN ANGLE DIAGRAM



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BRISE SOLEIL & FENCE DETAILS

10/14/16
201511

LP	6/16/16
	1/4" = 1'



SD-1