

Historic District Review Board

Cape Charles Civic Center – 500 Tazewell

Regular Session Agenda

August 16, 2016

6:00 P.M.

1. Call to Order; Roll Call
2. Invocation and Pledge of Allegiance
3. Consent Agenda
 - A. Approval of Agenda Format
 - B. Approval of Minutes
4. New Business
 - A. Application for Certificate of Appropriateness for 727 Tazewell Avenue – new construction of single-family dwelling
 - B. Application for Certificate of Appropriateness for 718 Randolph Avenue – new construction of rear addition two story, mixed office\commercial with residential above to contributing commercial structure, exterior stairway
5. Old Business
 - A. Recommended paint palettes
6. Announcements
7. Adjourn



Draft
HISTORIC DISTRICT REVIEW BOARD
Regular Meeting
Cape Charles Civic Center
July 19, 2016
6:00 p.m.

At approximately 6:00 p.m. Chairman Joe Fehrer, having established a quorum, called to order the Regular Meeting of the Historic District Review Board (HDRB). In addition to Joe Fehrer, present were John Caton, David Gay and Terry Strub. Member Sandra Salopek was not in attendance. Also in attendance were Town Planner Larry DiRe and Assistant Town Clerk Tracy Outten. The applicants and three other members of the public were in attendance.

Chairman Joe Fehrer started the HDRB Regular meeting with a moment of silence and the recitation of the Pledge of Allegiance.

CONSENT AGENDA:

Motion made by David Gay, seconded by Terry Strub, to accept the agenda as revised by Joe Fehrer. The motion was unanimously approved.

The HDRB reviewed the minutes from the June 21, 2016 Regular Meeting.

Motion made by John Caton, seconded by Terry Strub, to accept the minutes of the June 21, 2016 Regular Meeting as presented. The motion was unanimously approved.

NEW BUSINESS:

A. *Application for modification to Certificate of Appropriateness for 1 Mason Avenue – redesign removing approved new front porch gable.*

Applicant Beth Walker gave a brief overview of the plans and progress being made to the hotel.

Motion made by Terry Strub, seconded by David Gay, to approve the modification to the Application for the Certificate of Appropriateness for 1 Mason Avenue. The motion was approved.

B. *Application for Certificate of Appropriateness for 506 Harbor Avenue – rear stairway removal/rebuild and rear addition.*

Contractor, David Gianini, presented the proposed plans for 506 Harbor Avenue.

Motion made by John Caton, seconded by David Gay, to approve the Application as stated for the Certificate of Appropriateness for 506 Harbor Avenue. The motion was approved.

OLD BUSINESS:

A. *Exterior paint palettes.*

The Historic District Review Board decided to hold a Work Session to discuss paint palettes for each Cape Charles style home.

B. *Approval of Minutes for the May 17, 2016 Regular Meeting.*

The HDRB reviewed the minutes of the May 17, 2016 Regular Meeting.

Motion made by Terry Strub, seconded by David Gay, to accept the minutes of the May 17, 2016 Regular Meeting as revised. The motion was unanimously approved.

ANNOUNCEMENTS:

Larry DiRe announced the Town's application for the No Local Match was approved.

Joe Fehrer asked the members to respond to the HDRB Meeting Agenda emails whether are not they will be attending.

Motion made by John Caton, seconded by Terry Strub, to adjourn the Historic District Review Board Regular Meeting. The motion was unanimously approved.

Chairman Joe Fehrer

Assistant Town Clerk

DRAFT

Historic District Review Board Staff Report

From: Larry DiRe 
Date: August 16, 2016
Item: 4A – 727 Tazewell Avenue – New Construction of single-family home
Attachments: Application, elevations, survey plat.

Application Specifics

An application has been received for a Certificate of Appropriateness from the property owner for new construction of a single-family home at 727 Tazewell Avenue. The proposed building is a single family home, built on a non-conforming size lot (40' x 132.5' – 5300 square feet). The overall building and improvement footprint is 30' x 76' (2280 square feet), with the structure proposed to be three stories (39 feet in height), and 3405 total square feet. There are no contributing structures in the 700-block of Tazewell Avenue. Most of the homes in that block and the neighboring house facing Fulcher Street do not have a full front porch. This building shows a front porch at just twenty-four feet (80%), as allowed in the Guidelines and zoning ordinance (Article III Section 3.2.1.5.) A large, vacant commercial property is directly across the street. The building footprint meets the setback\prevailing standard requirements of the zoning ordinance. This structure will have vinyl siding and clad casement windows.

Discussion

The applicant has presented a comprehensive set of elevation drawings, and a current survey plat. The building height limit, roof pitch, and front porch width conform to the zoning ordinance requirements. Per the Guidelines the foundation will be parged block. The applicant proposes to use vinyl siding and casement windows. In addition glass block windows are proposed for the west elevation. According to the Guidelines Windows and Doors section (Element 9, page 40) the proportion of windows to wall area should be respected with more wall area than window area. The proposed western elevation shows the glass block windows totaling seventy-two square feet.

Recommendation

Review the attached materials and discuss any questions or concerns regarding the application. Decide whether the board finds that a Certificate of Appropriateness is appropriate for the application.

Application for Historic District Review

Town of Cape Charles
2 Plum Street
Cape Charles, VA 23310
757-331-2036 Fax: 757-331-4820
planner@capecharles.org

Date: August 2, 2016

* Please attach checklist items

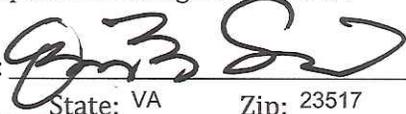
Permit No.: _____

Fee: \$100.00

Modification Fee: \$50.00

Special Meeting Fee: \$125.00

Applicant: Jim Schneider

Signature: 

Address: 350 W 22nd St Suite 101

City: Norfolk State: VA Zip: 23517

Telephone: 757-819-4466

Cell: 757-678-6551

Email: jim@schneidercb.com

Owner(s): Faimate Pellicer

Address: 390 7th St NW Apt 6022

City: Atlanta State: GA Zip: 31014

Telephone: _____

Cell: 404-538-9660

Email: mimanmetty@gmail.com

Contractor: Schneider Custom Builder

Address: 350 W 22nd St #101

City: Norfolk State: VA Zip: 23517

Telephone: 757-819-4466

Cell: 757-678-6551

Email: jim@schneidercb.com

Town License No.: _____

State License No.: 2705137761

Location of Improvement: 757 Tazewell, Cape Charles, VA 23310

Lot No.: 28 Block No.: DB 130 pg. 337 Lot Size: .122 Acres Lot Area: 5300 sq ft

Type of Improvement: New Home

Proposed Use: Single Family Residence

Estimated Construction Costs: \$270,000.00

Dimension of Structure or Improvement:

Width: 30ft Length: 76ft Height: 39ft

Total Square Footage: 3405 sq ft.

Structure of Improvement will be set back:

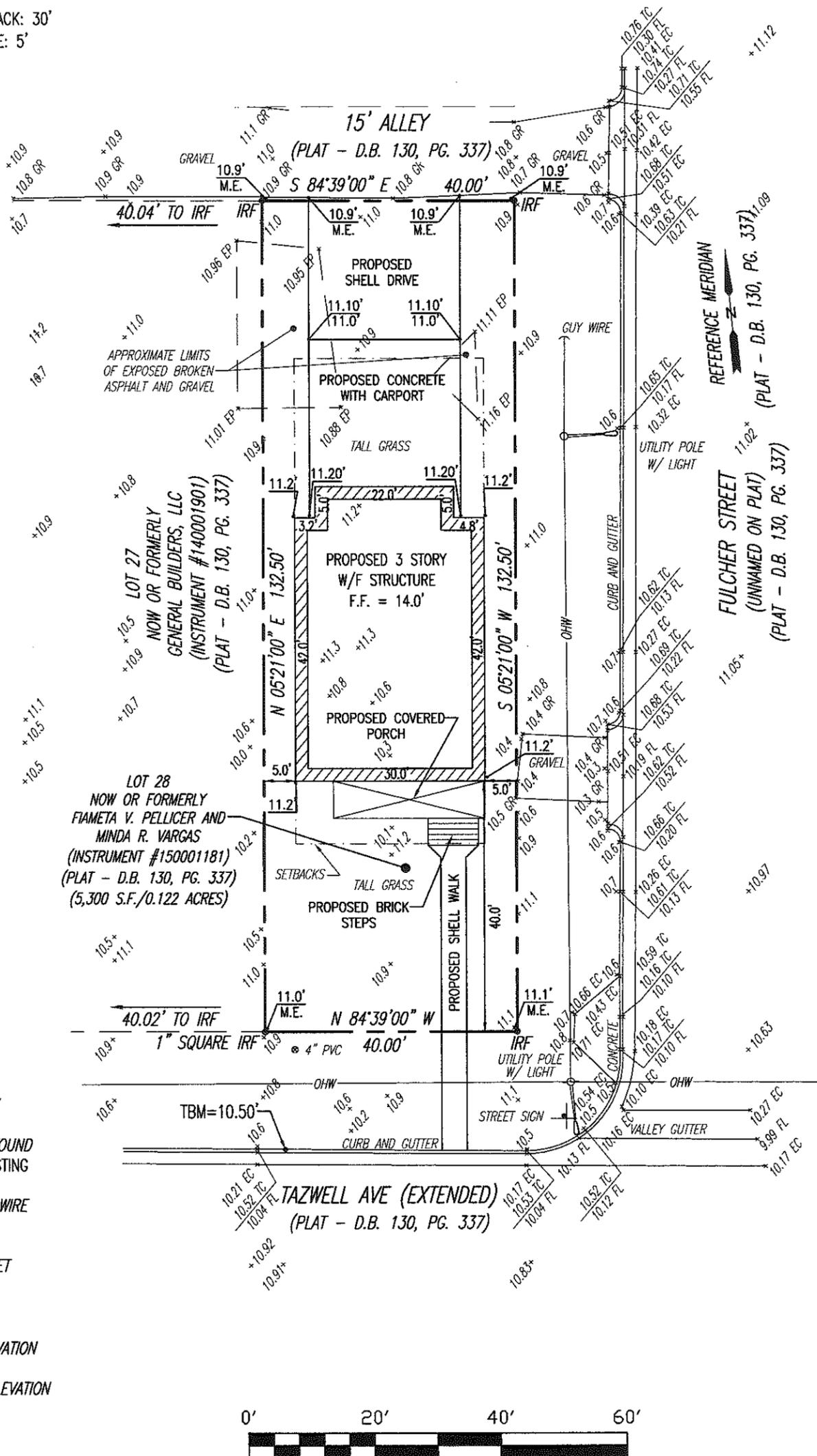
<u>40ft</u>	from front property line
<u>5ft</u>	from side property line
<u>5ft</u>	from side property line on corner lot
<u>25ft</u>	from rear property line
<u>40ft</u>	from alley

Town Water Permit: _____

Town Sewer Permit: _____

2. NO WETLAND DELINEATION MARKERS WERE OBSERVED DURING THE FIELD SURVEY.
3. THE PROPERTY SHOWN HEREON APPEARS TO LIE WITHIN FLOOD ZONE X ACCORDING TO FEMA - F.I.R.M. COMMUNITY PANEL 51131C0295F DATED 3/02/2015. FLOOD DETERMINATION IS BASED ON THE FLOOD INSURANCE RATE MAPS AND DOES NOT IMPLY THAT THIS PROPERTY WILL OR WILL NOT BE FREE FROM FLOODING OR DAMAGE. FLOOD ZONE DATA SHOWN HEREON SHOULD NOT BE CONSTRUED AS A DETERMINATION OF FLOOD INSURANCE REQUIREMENTS ON ANY PROPERTIES SHOWN HEREON OR ON ADJACENT PROPERTIES.

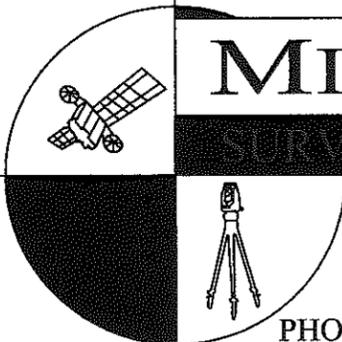
ZONE: R-1
 FRONT SETBACK: 30'
 CORNER SIDE: 5'
 SIDE: 5'
 REAR: 30'

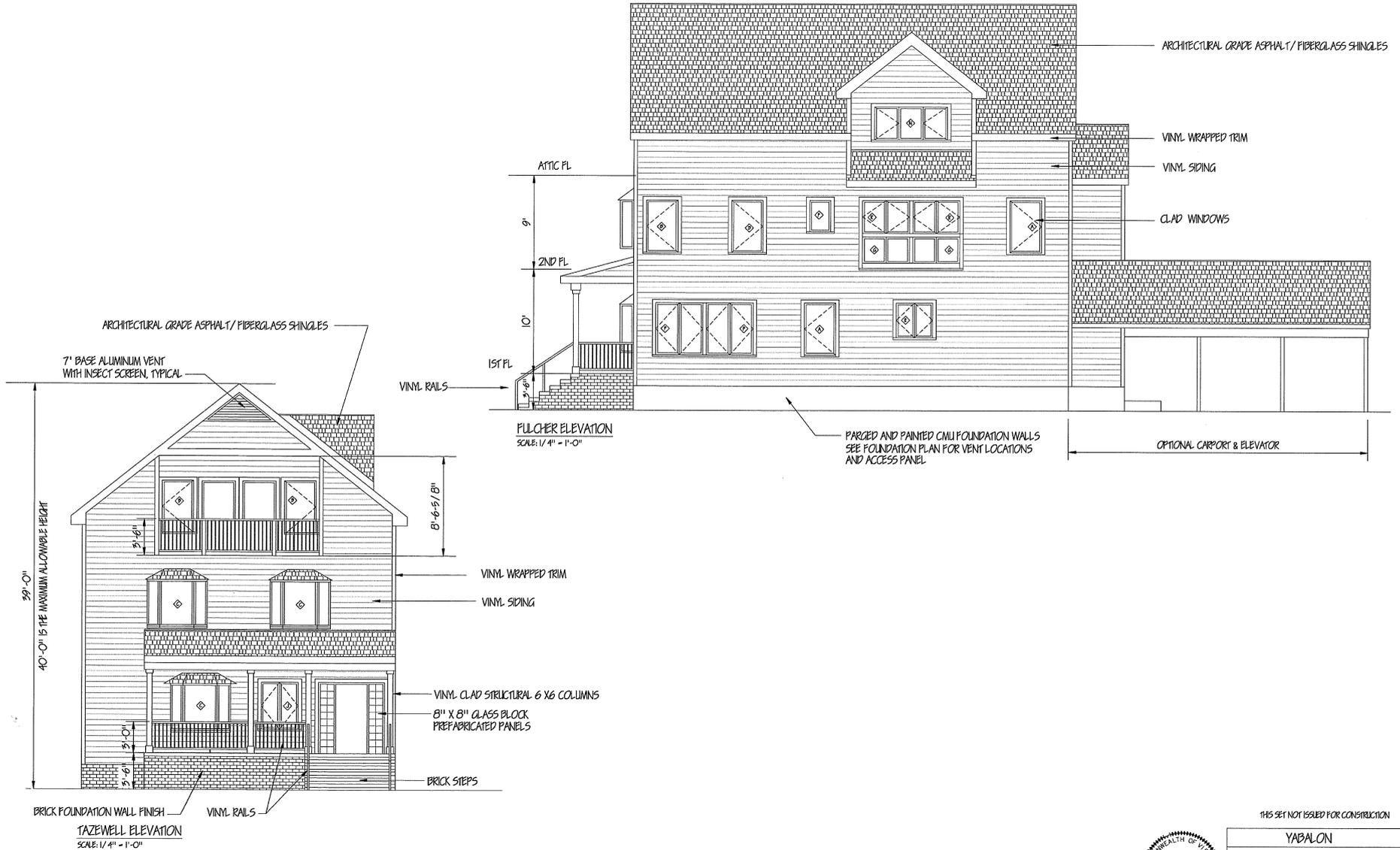


LEGEND AND ABBREVIATIONS

- D.B. = DEED BOOK
- E = EAST
- IRF = IRON ROD FOUND
- M.E. = MATCH EXISTING
- N = NORTH
- OHW = OVERHEAD WIRE
- PG. = PAGE
- S = SOUTH
- S.F. = SQUARE FEET
- W = WEST
- W/ = WITH
- 10.9 = EXISTING ELEVATION
- 11.0 = PROPOSED ELEVATION



<p>PLOT PLAN OF LOT 28 WELLES ESTATE (INST# 150001181) (PLAT - D.B. 130, PG. 337) CAPE CHARLES, VIRGINIA 07-20-16 SCALE: 1" = 20'</p>		PROJECT #: 16061.0		<p>MIDATLANTIC SURVEYING & LAND DESIGN</p>	
		SCALE: 1" = 20'			5305 CLEVELAND STREET SUITE 102 VIRGINIA BEACH, VA 23462 www.mas-ld.com PHONE: 757-557-0888 / FAX: 757-416-5153
		DATE: 07/20/2016			
		DRAWN BY: TSC			
		SHEET 1 OF 1			



ARCHITECTURAL GRADE ASPHALT/FIBERGLASS SHINGLES

VINYL WRAPPED TRIM

VINYL SIDING

CLAD WINDOWS

ATTIC FL

2ND FL

1ST FL

FULCHER ELEVATION
SCALE: 1/4" = 1'-0"

PARSED AND PAINTED CMU FOUNDATION WALLS
SEE FOUNDATION PLAN FOR VENT LOCATIONS
AND ACCESS PANEL

OPTIONAL CARPORT & ELEVATOR

ARCHITECTURAL GRADE ASPHALT/FIBERGLASS SHINGLES

7" BASE ALUMINUM VENT
WITH INSECT SCREEN, TYPICAL

VINYL RAILS

39'-0"
40'-0" IS THE MAXIMUM ALLOWABLE HEIGHT

5'-6"

8'-6-5/8"

VINYL WRAPPED TRIM

VINYL SIDING

VINYL CLAD STRUCTURAL 6 X 6 COLUMNS

8" X 8" GLASS BLOCK
PREFABRICATED PANELS

BRICK STEPS

BRICK FOUNDATION WALL FINISH
TAEZEWELL ELEVATION
SCALE: 1/4" = 1'-0"

VINYL RAILS

THIS SET NOT ISSUED FOR CONSTRUCTION

YABALON

HEINER PRYZON - ARCHITECT
133 SOUTHMEYER TRACE WILLIAMSBURG, VA 23180 757-797-2577
WWW.HCPA.COM

FLUCHER STREET, CAPE CHARLES

ELEVATIONS

NOVEMBER 29, 2016 SHEET 4 OF 9 4



ARCHITECTURAL GRADE ASPHALT/ FIBERGLASS SHINGLES

ARCHITECTURAL GRADE ASPHALT/ FIBERGLASS SHINGLES

7' BASE ALUMINUM VENT WITH INSECT SCREEN, TYPICAL

4'-6" BASE ALUMINUM VENT WITH INSECT SCREEN, TYPICAL

OPTIONAL CARPORT & ELEVATOR

INTERIOR SIDE ELEVATION
SCALE: 1/4" = 1'-0"

PARCELED AND PAINTED CMU FOUNDATION WALLS
SEE FOUNDATION PLAN FOR VENT LOCATIONS AND ACCESS PANEL

8" X 8" GLASS BLOCK PREFABRICATED PANELS

VINYL WRAPPED TRIM

VINYL SIDING

CLAD CASEMENT WINDOWS

VINYL RAILS

BRICK FOUNDATION WALL FINISH

REAR (ALLEY) ELEVATION
SCALE: 1/4" = 1'-0"

PARCELED AND PAINTED CMU FOUNDATION WALLS
SEE FOUNDATION PLAN FOR VENT LOCATIONS AND ACCESS PANEL

STEPS, LANDING &
GRAB RAILS & HAND
RAILS REQUIRED IF OPTION
IS NOT TAKEN

NOTE: GUTTERS AND DOWN SPOUS OPTIONAL

THIS SET NOT ISSUED FOR CONSTRUCTION

YABALON

HANER PRISON - ARCHITECT
122 SCHWABER ROAD WILLIAMSBURG, VA 23180
181-719-2877
18WYCHAMCO.COM

FLICKER STREET, CARE CHARLES

ELEVATIONS

NOVEMBER 29, 2019

SEE: 9 OF 9

5



Historic District Review Board Staff Report

From: Larry DiRe 
Date: August 16, 2016
Item: 4B – 718 Randolph Avenue – New construction of rear addition office\commercial space with two-bedroom apartment above.
Attachments: Application, elevations, site plan.

Application Specifics

An application has been received for a Certificate of Appropriateness from the property owner for new construction of a rear addition office\commercial space with two-bedroom apartment above. The second floor residential unit is based on a conditional use permit approved by Town Council. The proposed addition is to a contributing structure, 1920s ear rusticated concrete block commercial building. Currently there is a partial concrete block wall on the site. The existing wall has both window and door openings, which will be reconfigured in the new construction. An exterior stairway is proposed for the new addition. The overall building and improvement footprint is 38.5' x 36' (1386 square feet), with the structure proposed to be two stories (26 feet in height), and 2800 total square feet.

Discussion

The applicant has presented a comprehensive set of elevation drawings, existing conditions, and a site plan. The building's height and roof pitch conform to the zoning ordinance requirements. The walls will be painted masonry materials, which the Guidelines Masonry section state should be avoided (Element 4, page 50). The proposed ground floor office\commercial windows have a more residential look and may not conform to the Guidelines Windows and Doors section (Elements 10 and 11, page 40). Since this is a rear addition, the "Storefronts" guidelines may be more flexibly interpreted than literally interpreted (Element 6, page 47).

Recommendation

Review the attached materials and discuss any questions or concerns regarding the application. Decide whether the board finds that a Certificate of Appropriateness is appropriate for the application.

Application for Historic District Review

Town of Cape Charles
2 Plum Street
Cape Charles, VA 23310
757-331-2036 Fax: 757-331-4820
planner@capecharles.org

Date: 2 August 2016

Permit No.: _____

* Please attach checklist items

Fee: \$100.00

Modification Fee: \$50.00

Spécial Meeting Fee: \$125.00

Applicant: John F. Huchler, Managing Partner

Signature: John F. Huchler, Managing Partner

Address: 35 Viburnum Court City: Lawrenceville State: NJ Zip: 08648

Telephone: 609-896-4457 Cell: 609-865-8151

Email: huchlerj@verizon.net

Owner(s): IES Holdings, LLC

Address: 35 Viburnum Court City: Lawrenceville State: NJ Zip: 08648

Telephone: 609-896-4457 Cell: 609-865-8151

Email: huchlerj@verizon.net

Contractor: Selection based on bid process.

Address: _____ City: _____ State: _____ Zip: _____

Telephone: _____ Cell: _____

Email: _____

Town License No.: _____ State License No.: _____

Location of Improvement: 718 Randolph Avenue

Lot No.: 4 Block No.: 0834A-0A Lot Size: 40' x 132.5' Lot Area: .122 Acre

Type of Improvement: Restoration/Replacement

Proposed Use: (2) Second floor apartments and 1st floor office

Estimated Construction Costs: \$150,000

Dimension of Structure or Improvement:

Width: 38.5' Length: 36' Height: 26'

Total Square Footage: 2800 sq. ft.

Structure of Improvement will be set back:

51.5' from front property line

0.5', 1.0' from side property line

not applicable from side property line on corner lot

45' from rear property line

45' from alley

Town Water Permit: 3 Existing permits Town Sewer Permit: 3 Existing permits

Application for Historic District Review

Town of Cape Charles
2 Plum Street
Cape Charles, VA 23310
757-331-2036 Fax: 757-331-4820
planner@capecharles.org

Applicant Checklist:

These items must be submitted to the Town Planner no later than 14 days prior to the Historic District Review Board meeting. The Historic District Review Board meets the third Tuesday of each month.

- Completed signed application
- Application fee payable to "Town of Cape Charles"
- Site plan for any project proposing to alter the principal or accessory building footprint
- Scale drawings drawn to an appropriate scale of the site depicting the affected property and all buildings/structures
- Photos of existing/current structure
- Photos illustrating proposed project
- Material list (if applicable) including building materials, product descriptions and specifications

CERTIFICATION OF APPLICANT

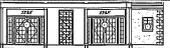
I hereby certify that I have the authority to make the foregoing application, that the information given is true and correct, and that the construction or improvements will conform to the regulations in the Virginia Statewide Building Code, all pertinent Town Ordinances, including fire, sewer, and water ordinances, and private building restrictions, if any, which may be imposed on the property by deed. Furthermore, I certify that the changes to the improvement before or during construction will be provided to the Zoning Administrator and Building Official before such changes are constructed.

I understand that delinquent real estate taxes must be paid before any permits will be issued per Cape Charles Town Code Sec. 66-4.

I acknowledge that I have received the checklist of items to be submitted to the Town Planner for Historic District Review Board review. Failure to comply could result in delayed application review.

Signature of Owner/Contractor: John F. Hinchey, Managing Partner

718 RANDOLPH AVE., CAPE CHARLES, VA



- 1.1 DESCRIPTION OF THE PROJECT AND ARCHITECTURAL CONCEPT**
 A. The project consists of the construction of a new 2 story building on the site of an original commercial building.
 B. This is a mixed use commercial and residential project and will be reviewed for design guideline compliance.
- 1.2 PROJECT SCOPE AND CONSTRUCTION LIMITS**
 A. The project shall be limited to areas shown on plans. Contractor shall comply with all applicable codes and ordinances.
- 1.3 SCOPE OF WORK** - Front Existing building is completed and shall be protected during the construction of the rear building. Tenants shall be provided full access and shall be notified of any interruption in services 24 hrs in advance.
 A. The scope of the project is shown and described in as great a detail as is practicable in the drawings and these specifications.
 B. It is the intention of these drawings and specifications that all labor and materials required for this project whether or not specifically shown or specified and shown in schedule A, shall be furnished and installed so that the building when turned over to the satisfactory occupants.
 C. The Contractor is invited to make suggestions and recommendations about different methods of accomplishing the work. The Contractor is responsible for calling to the Architect and Owner's attention work not specifically called for which, in his opinion should be considered at this time.
 D. In general, written dimensions take precedence over scaled dimensions. Any discrepancies shall be brought to the Architect's attention and resolved prior to construction.
- 1.4 EXAMINATION OF SITE**
 A. The Contractor shall be responsible for examining the site. The determination of the soil, underground conditions, water, access, utilities and other conditions not otherwise indicated in the contract documents, but affecting the execution of the agreement is the responsibility of the Contractor.
- 1.5 APPROVED EQUALS AND SUBSTITUTES**
 A. Specified manufacturers shall be considered the standard for items called for. Equals will be considered by the Architect upon submission of substitute manufacturer's literature, specifications and samples if required.

- 1.6 DELIVERY, STORAGE AND HANDLING OF MATERIAL**
 A. Materials shall be stored and handled with appropriate protection and care to prevent damage. Damaged materials shall not be installed. If the damage is objectionable aesthetically, structurally or functionally.
 B. Contractor shall be responsible for the ordering and delivery of materials so as not to impede the progress of the project.
- 1.7 INSTALLATION AND FINISHING OF MATERIALS**
 Installation and finishing of materials shall be as recommended and specified by the manufacturer, whether or not the procedures are detailed in these specifications.
- 1.8 PROTECTION**
 A. Adjacent property
 Contractor shall take all reasonable precautions to protect adjacent properties from damage due to this project. Contractor shall be responsible for repair and or settlement of any such damage.
 B. This property
 Contractor shall take all reasonable precautions to protect this site from damage and loss due to work performed under this contract. Contractor shall be responsible for repair and or replacement of any such damage.

- 1.9 SITE MAINTENANCE**
 A. During construction, the Contractor shall keep the area free from excess trash and shall maintain the area as neatly as possible for safety, health and appearance.
 B. Upon completion the Contractor shall clean the premises thoroughly, removing all construction debris, dust, brcom and or vacuum etc. Wash all glass and appropriate surface.
- 1.10 SITE SAFETY AND FIRE PROTECTION**
 A. Job safety is the sole responsibility of the Contractor and he shall conform to the safety requirements of all applicable authorities.

- 1.11 WARRANTIES**
 A. The Contractor shall guarantee his workmanship and the workmanship of the subcontractors for a period of one (1) year after the project is completed.
 B. The Contractor shall provide the new owner all warranties and warranties provided by the several manufacturers.
- 1.12 TEMPORARY FACILITIES**
 A. Structure:
 The Contractor shall provide sufficient safe ramps, scaffolds, hoists, shoring, and guardrails as required to accomplish the work in this contract.
 B. Temporary utilities:
 1. Erect provide safe temporary heat as required for the work of the various trades, ventilation for human safety and proper drying.
 2. Electricity and water: Contractor shall coordinate with power company for temporary services as required.
 3. Toilets - Contractor shall provide temporary facilities.
- 1.13 REGULATIONS AND PERMITS**
 A. All work shall be in conformance with the regulations of all authorities having jurisdiction.
 B. Contractor shall obtain and pay for all required permits. Contractor shall obtain and pay for all required inspections.

- Division 2 - Site Work**
- 1.1 EARTHWORK**
 (Earthwork consists of excavating, filling, grading and seeding)
- A. Excavation**
 1. Excavate to elevations, and dimensions indicated and normal practice dictates.
 2. Remove topsoil from areas to be excavated and stock pile for future use.
 3. Reuse existing footings at front building.
 4. Provide new footings at rear building.
 5. Contractor shall control the grading around the building so that ground is pitched to keep water from running into building. Maintain all trenches and pits where footings are to be placed free of water. Provide pumping necessary to keep excavated areas free of water during construction.
 6. Where soil conditions permit, footing trenches may be excavated to the exact dimensions of the concrete and side forms omitted. Place footings and foundations on undisturbed and firm earth. Fill with concrete any excess cut under footings and foundations.
- B. Filling**
 1. Remove from areas to be filled all debris subject to termite attack, rot, or corrosion and all discarded construction material such as blocks, concrete, or mortar.
 2. Excavated material that is suitable for use as backfills, as required. All surplus excavated material not required for grading etc. shall be removed from the site.
 3. Fill and backfill shall be compacted to a dry density of at least 95% of the modified Proctor maximum dry density (ASTM C-157).
 4. The compaction shall be accomplished by placing the fill in essentially level lifts of not more than 8" and mechanically compacting each lift to at least specified dry density.
- C. Grading**
 1. Do all filling, compacting of fills and rough grading required to bring the areas outside and inside the building to subgrades for finish grades as shown.
 2. Finish grading of all areas where work is to be performed, including excavated fill sections and adjacent transition areas shall be reasonably smooth, compacted and free from irregular surface change and free of debris.
 3. Finish grading around structures shall pitch away from structures, areaways, etc.
 4. Seeding and planting by others.

- 1.2 PAVING MATERIALS**
 A. Provide concrete pavers as selected for all exterior sidewalks.
 B. Color shall be as selected.

- Division 3 - Concrete**
- 1.1 FOOTINGS**
 A. Concrete shall have 28 day strength of 3000 psi.
 B. Assumed foundation pressure is 2000 psi. Contractor shall inform the Architect if there is any reason to doubt the soil bearing capacity. Investigate existing footings to ascertain whether they may be reused.
 C. Footings shall be placed on undisturbed soil or compacted fill not less than 2'-0" below finish grade.
 Any fill material shall be free of organic or deleterious substances, rock, ice, or lumps larger than 6".
- 1.2 CONCRETE**
 A. All concrete work including reinforcing materials and details, mixing placing and curing shall conform to ACI-318-77, and building code requirements for reinforced concrete for structures to ASTM C 40-79.
 B. Do not cast any Aluminum conduit or inserts in concrete. Cast concrete only against the surface of aluminum forms which have a protective bituminous coating.
 C. Products
 1. Cement - Portland cement, fresh atock, conforming to ASTM C150-78e, Type 1.
 2. Fine aggregates - clean, hard, washed natural sand conforming to ASTM C 60-79.
 3. Course aggregates - ASTM C33-78a.
 4. Water - clean, fresh, free from harmful matter. All concrete shall be ready mixed in accordance with ASTM C94-78a.
 5. Mix for and draypack shall be one (1) part Portland cement and two (2) parts sand.
 6. Follow recommendation procedures of ACI 304-73 for placing concrete.

- 1.3 CONCRETE REINFORCING**
 A. Concrete reinforcing shall conform to ASTM A515-78 and shall be manufactured from new billet steel, clean and free from rust.
 B. Welded wire fabric shall conform to ASTM A 185-79.
 C. Place reinforcing accurately in form and substantial manner in accordance with CRSI publication "Placing Reinforcing Bars", latest edition and to conform to code requirements.
 D. Provide space between reinforcing and dowels with required ties, clips, and accessories to prevent displacement before and during concrete placement.
 E. Protect reinforcing by thickness of concrete recommended in ACI 318-77.
 F. Bending and tying of reinforcing bars shall be as per ACI 318-77.
 G. Install wire fabrics in lengths as long as possible. Lap adjoining ends and ends at least one full mesh, lace splices with 18 gauge wire.
 H. Where drawings indicate continuous reinforcing bars, lap corners and splices a minimum of 36 bar diameters and tie lightly with wire.

- Division 4 - Masonry**
- 1.1 CONCRETE MASONRY UNITS**
 A. Provide 8" cmu North, South, East and West.
 B. Reuse as shown existing "rusticated" blocks as possible for visible exterior walls.
 C. Provide concrete footings as shown.
 D. Block to conform to ASTM C-90
 E. Provide Type M mortar below grade ASTM 270
 F. All existing CMU walls shall be reinforced tied to new 2x4 furring as shown.
 G. Interior studs as shown. Rusticate existing rusticated block on northwest side to southwest side, see elevations.

- Division 5 - Wood and Plastics**
- 1.1 ROUGH CARPENTRY**
 A. All lumber shall conform to American Soft Wood Lumber Standard PS-20-70 ASTM D 245
 Visual grading rules shall bear the grade mark of National Forest Product Association approved agency.
 B. All lumber shall be S4S, surfaced four sides, unless otherwise noted.
 C. Moisture content of lumber 2" or less in thickness shall be 19% or less at time of enclosure.
 D. Roof and wall framing shall be adequately braced against lateral and other forces during construction.
 E. Unless otherwise shown, all structure shall comply with international residential code as a minimum for all linear connections.
 F. Framing lumber including roof sheathing to be in accordance with the standards and specifications of American Institute of Timber Construction. AITC framing lumber shall be as follows:
 1. minimum bending stress shall be 1200 psi
 2. light framing #2
 3. plates, blocking and nailers #2
 4. studs, load non-loadbearing #2
 5. 2x4 and wider plates, blocking and nailers #2
 6. posts and columns #2
 7. soards - suitable for intended use by normal carpentry standards.
 G. Treated lumber:
 All wood used in contact with concrete or masonry, below grade or embedded therein and where indicated on the drawings shall be treated on all surfaces, including field cuts with Wolman CCA wood preservatives and shall bear the trade mark "Wolmanized" by Koppers Co. Inc., or equivalent.
 H. Provide structural connections by TECO, or Simpson Strongtie or equal. Provide hurricane ties at each rafter, joist hangers, post bases etc. shall be size and type as required for the installation.
- 1.2 FINISH CARPENTRY**
 A. Interior wood work for paint finish:
 All interior wood trim, see Drawings.
 B. All clasp board siding to be "Hard Plank" or equal.
 C. All exterior trim to be white cellular dimensional PVC as shown or equal.

- Division 7 - Thermal and Moisture Protection**
- 1.1 GENERAL**
 A. It is the intention of this project to create water and air tight building envelope.
 The following special considerations shall be made.
 1. Seal foundation walls as per manufacturer direction and at openings created by incoming or exiting services.
 2. Insulation in exterior walls shall run behind electrical boxes, piping, etc. for a continuous barrier and shall have vapor barrier.
 3. Provide Tyvek building wrap or equal on plywood, plyscore or eq siding, typical.
 4. All voids around windows and doors shall be filled.
- 1.2 FLASHING**
 A. Provide through wall flashing at all windows, doors, top of masonry walls, and at base of walls.
- 1.3 INSULATION**
 A. All materials shall be Owens Corning or equal. Always install with vapor barrier toward the warm (interior) side. Install in accordance with manufacturer specifications.
 B. Schedule:
 1. in exterior walls & floors 4" R-13 min. batt with vapor barrier.
 2. in ceiling/attic 9" R-38 min. batt with vapor barrier.
 3. in interior walls at bathrooms and bedrooms, unfaced-sound attenuation blankets, 3 1/2" typical.
- 1.4 CAULKING**
 A. Primer, joint filler, and caulk shall be of type, material and color appropriate to the installation.
 B. Follow manufacturer's recommendations and specifications for application and curing conditions, required for optimum adhesion and water resistant conditions.
 C. Caulk at all windows and doors, joints, dissimilar materials and assemblies to create a watertight condition.
 D. Seal joints immediately to ensure maximum contact between caulk and substrate.
 E. Caulking shall have a smooth even appearance and finish.
- 1.6 ROOFING**
 A. Provide roof shingles to match front building - CertainTeed Hattroz or equal.

- Division 8 - Doors and Windows**
- 1.1 DOORS**
 A. Interior doors to be semi-solid panel hard wood as selected. See schedule.
 B. Exterior doors to be fiberglass as selected. See schedule.
- 1.2 FINISH HARDWARE**
 A. Owner to select hardware for exterior doors and windows.
 B. Provide appropriate interior hardware as selected.
- 1.3 WINDOWS AND VENTS**
 A. Provide vinyl windows or as selected. See schedule. Install per manufacturer's recommendations.
 B. Provide roof vents as shown on the new roof.

- Division 9 - Finishes**
- 1.1 GYPSUM WALL BOARD**
 A. Gypsum wall board to be manufactured by US Gypsum or equal.
 B. Regular wall board to be 1/2" thick by 48" wide with tapered edges by the longest practicable length to minimize joints. Use WR or green board in damp locations. Wonderboard or equal at wet locations behind tile or marble. Provide 5/8" type x all at fire separations. See details.
 C. Trim accessories - Corner beads - US Gypsum or equal.
 D. Joint treatment
 Type and compound shall be by same manufacturer as the board.
 Products shall conform to ASTM C474 and C745.
 E. Fasteners
 Nails and or screws used for fastening board shall be of size, type and spacing recommended by the manufacturer for the specific location and use.
 F. Installation
 Installer shall inspect all parts of the supporting structure and notify contractor or correct any condition detrimental to the application.
 Follow manufacturer's recommendations and specification for installation and trim.
 All joints shall be sanded smooth and finish work shall appear monolithic and be cleaned prior to painting. Any reworking of joints and or nail pops shall be reported to the satisfaction of the Owner.

- 1.2 PAINTING**
 A. Contractor shall supply the Owner with color selection for the paint to be used.
 Acceptable manufacturers are:
 Behr, Valspar
 Benjamin Moore
 Marlin Senour
 Sherwin Williams or equal
 B. No painting shall be done when the temperature is below 50 degrees.
 C. Contractor shall take all necessary precautions to protect other work already installed.
 D. All painted surfaces to be smooth, free of dirt, oil, wax, and dust.
 E. All materials used for painting and resultant debris shall be removed from the site. Provide owner with paint for touch ups.
 F. Contractor shall touch up the work, clean all splatters, glass, smears etc. for a first class product.
 G. Schedule Interior

Oypsum board-bathroom	2 coats latex flat 1 coat primer
Wood work	2 coats semi gloss 1 coat primer
Exterior	2 coats semi gloss
Floor	2 coats exterior latex (or factory finish) (back prime all interior finish wood trim) trim to receive 1 coat primer and First floor to be concrete slab sealed Second floor, carpet in living and bedrooms, cer. tile in baths

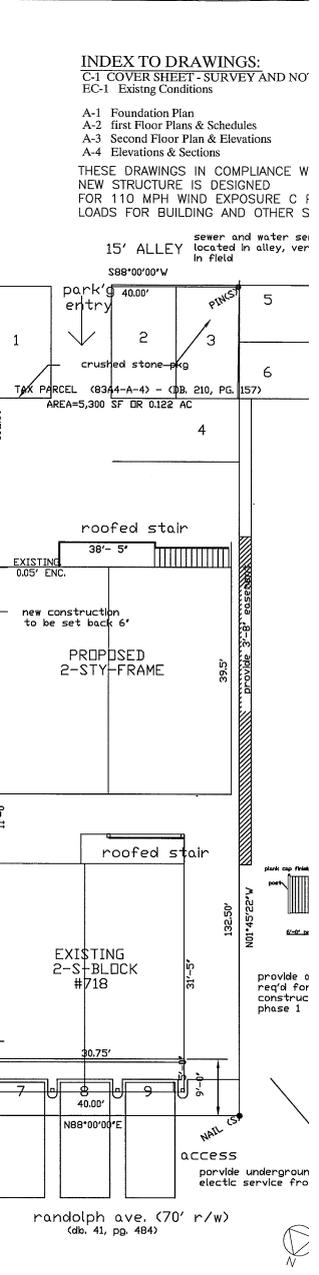
- 1.3 CERAMIC TILE AND MARBLE**
 A. See drawings for locations.
 B. Provide Wonderboard or equal backing for all ceramic.
- 1.4 FLOORING**
 A. Flooring to be as shown on drawings.

- Division 10 - Specialties**
- 1.1 BATHROOM ACCESSORIES**
 A. Provide all bathroom fittings, fixtures and accessories see interior elevations.
- Division 11 - Equipment**
 A. Provide all appliances, coordinate with cabinets.
- Division 15/16 Mechanical / Electrical**

- 1.1 GENERAL NOTES**
 A. These notes and requirements govern the work of the mechanical and electrical divisions.
 B. Architectural drawings indicate wiring and HVAC for guidance only. Contractors are responsible for code conforming design and installation. Coordinate with owner for exact locations of visible elements.
 Coordinate work with local cable TV, telephone co., post office, LAN, and owner for installation and final location.
 C. Provide one heat pump system for each of the residential units and one for the office space, located as shown.
 D. Provide 40 gal. hot water electric heat for each unit in attic.
 Provide (1) 2 gal. hot water electric heat pump to all first floor sinks.
 E. Meter each unit separately.
- 1.2 PERMITS, FEES, AND CODES**
 A. The Contractor shall obtain and pay for all permits and inspections required and all fees required by any local authority or utility for connections or changes to their equipment which may be required by work under this contract.
 B. Work shall conform to all applicable codes, ordinances and regulations.
 C. Contractors shall be licensed.
 D. Contractors shall be responsible for design and installation of their work. All work to conform to current standards applicable.
- 1.3 WORKMANSHIP**
 A. All materials and equipment shall be installed in a first class and workman like manner and in compliance with the best methods and practices.
 B. No beams, columns, structural members, etc. shall be cut for the passage of piping, ducts, conduits, etc. without consultation with Architect.
 C. All wiring, ducts, etc. shall be run concealed.

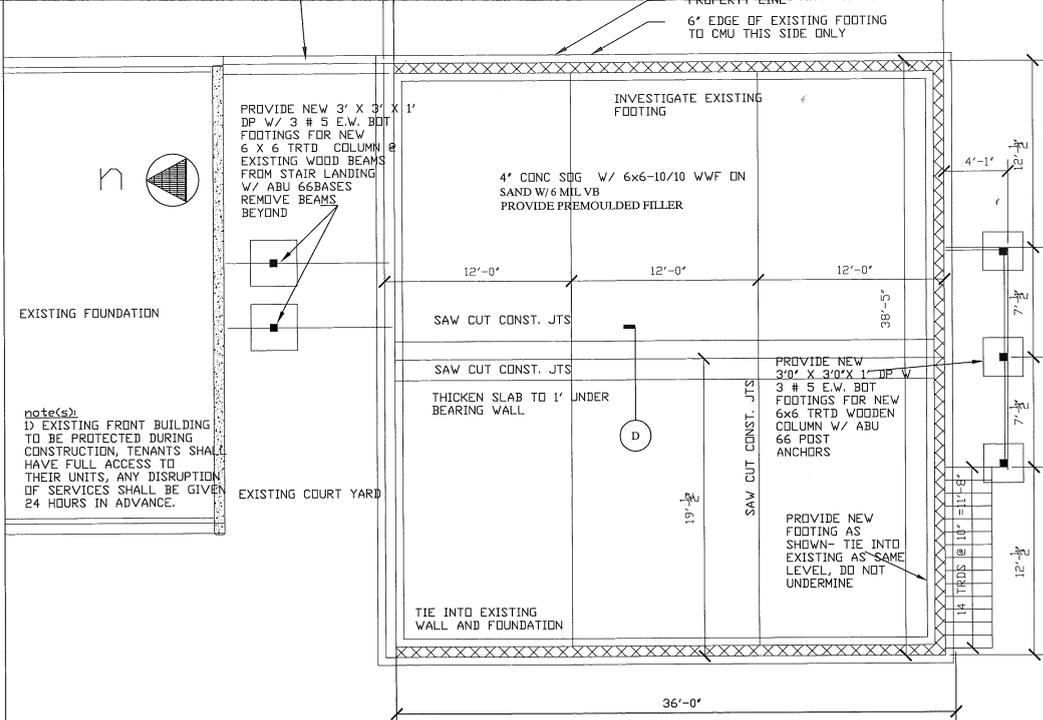
CONTRACT
 Contractor shall commit to first phase completion within 12 months of start date.
 B. Owner and contractor shall decide on a penalty clause for late completion, and an award clause for early completion.

CODE & ZONING NOTES
 2012 Virginia Building Code
 Cape Charles Zoning District C-1
 building use: Mixed
 EXISTING front building -
 1st - floor office
 2nd floor - (1) 2 bedroom apartment
 PROPOSED: rear building
 1st - Office 1383 sq ft
 50 psf desing load
 2nd floor
 2. 1 bdrn-apartments 1376 sq ft
 40psf design load
 6 added parking spaces
 4 existing spaces
 10 car total parking provided
 designed for exposure C 110 mph wind

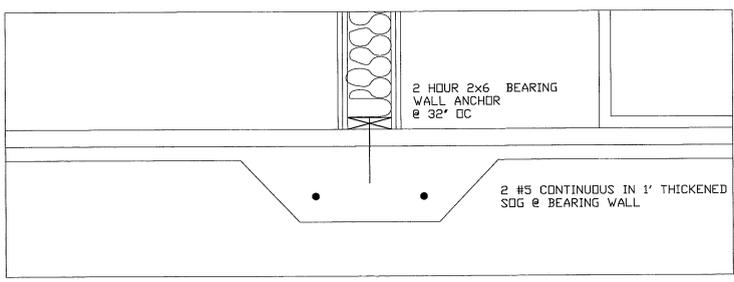


PARHAM
 5377 Mockham Bay Dr. • CAPE CHARLES VIRGINIA 22731
 757.331.0591 L.L. rick@gloud.com
 LEON PARHAM ARCHITECT, R.A., NCBARB
 www.parhamarchitect.com
 revised 7/21/16

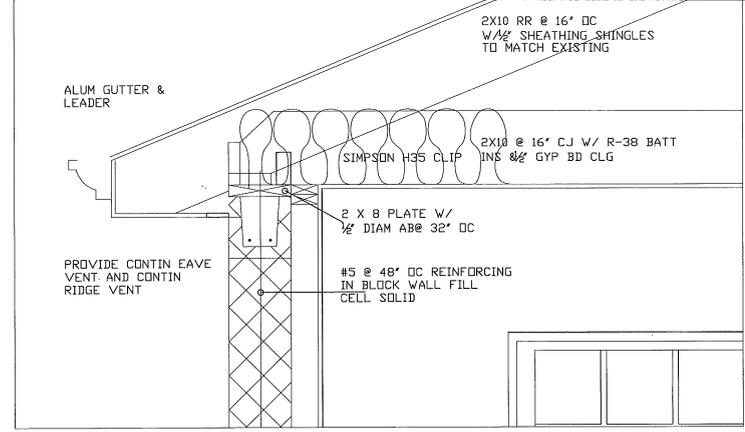
SITE PLAN
 SCALE: 1"=10'



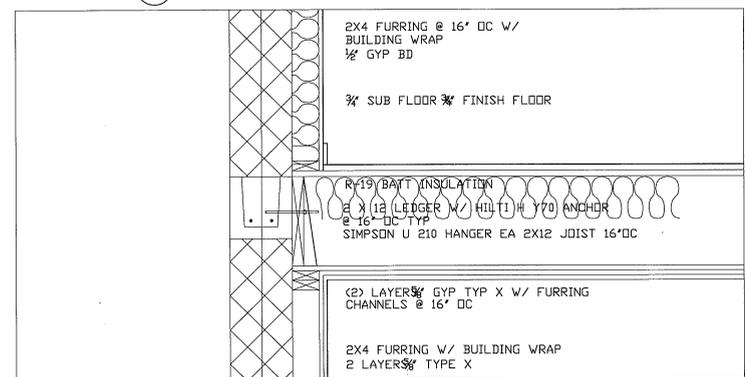
FOUNDATION PLAN



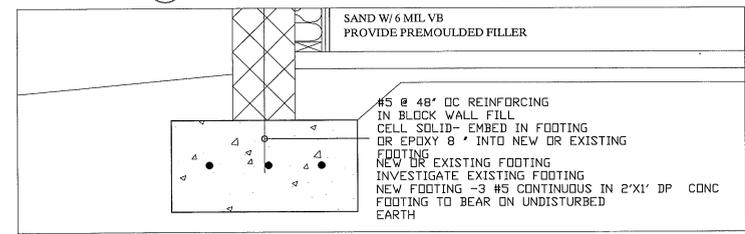
D WALL/FLOOR CONNECTION DETAIL
1/12"=1'



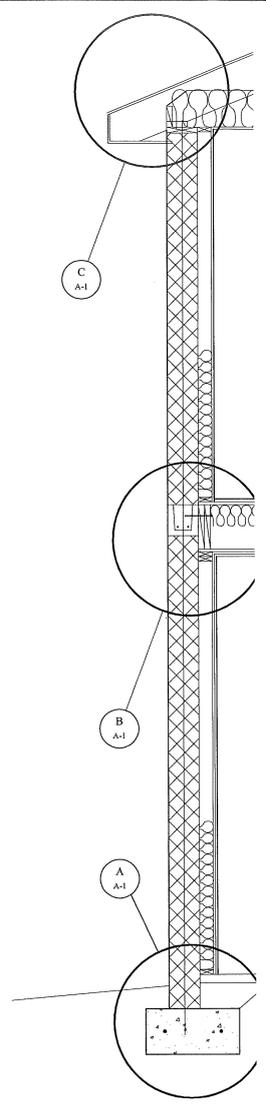
C SECTION LOOKING SOUTH



B WALL/FLOOR CONNECTION DETAIL
1/12"=1'



A WALL/FLOOR CONNECTION DETAIL
1/12"=1'



2 WALL SECTION
3/4"=1'

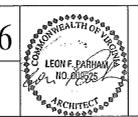


PARHAM

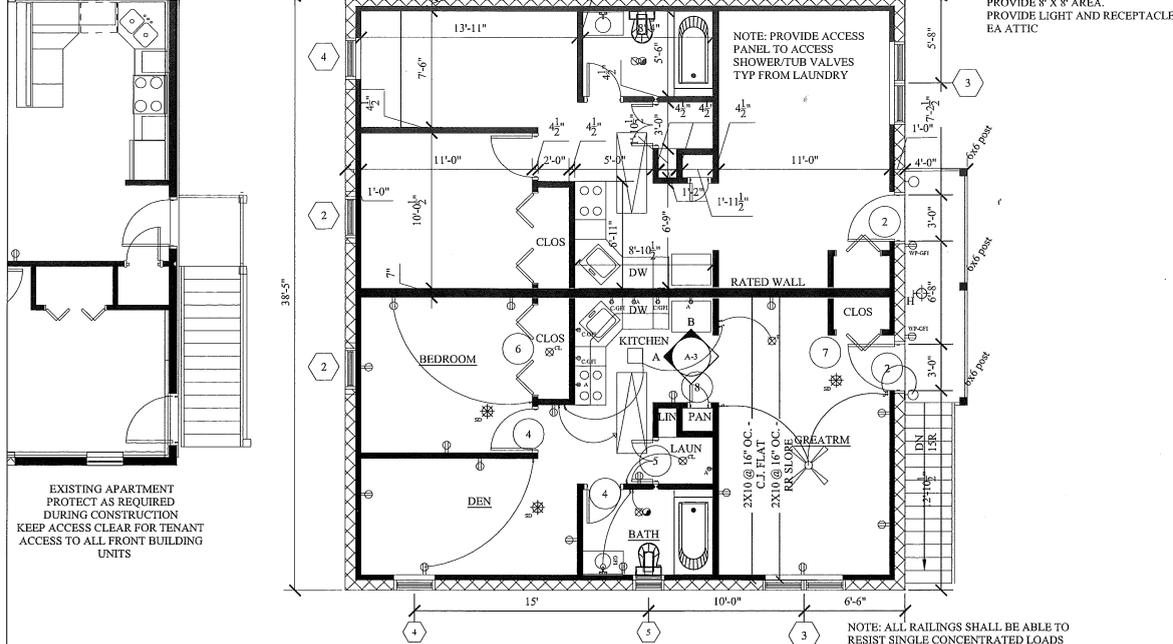
5377 HOCKHORN BAY DRIVE, CAPE CHARLES VIRGINIA 23310-2184
757-331-0591 - rktek@icloud.com
PARHAM ARCHITECT, R A, NCARB
www.parhamarchitect.com

AMES LODGE- REAR BUILDING
718 RANDOLPH AVE., CAPE CHARLES, VA
FOUNDATION PLAN, WALL SECTION & DETAILS

IP	7/21/16
201601	1/4"=1'-0"



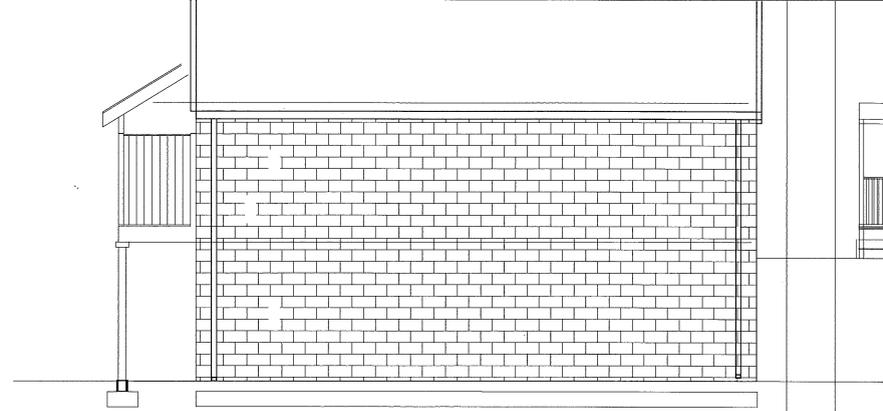
A-1



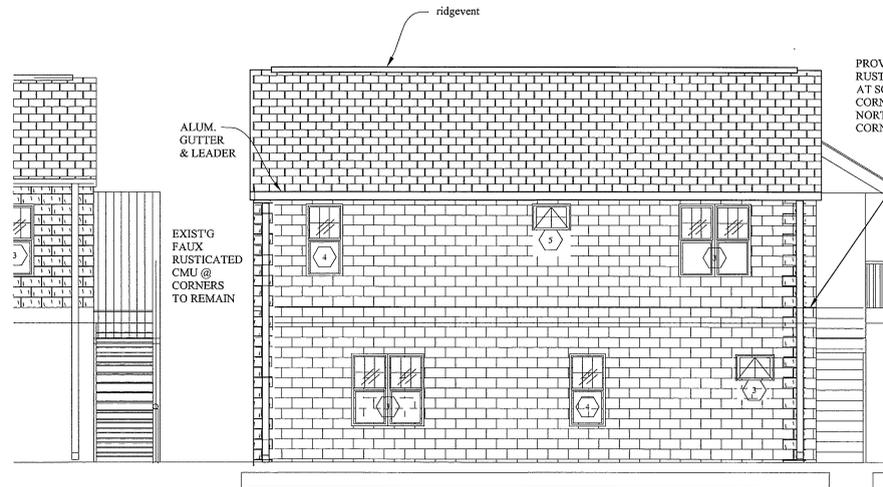
SECOND FLOOR PLAN

EXISTING APARTMENT
PROTECT AS REQUIRED
DURING CONSTRUCTION
KEEP ACCESS CLEAR FOR TENANT
ACCESS TO ALL FRONT BUILDING
UNITS

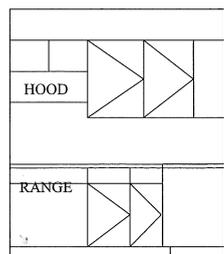
NOTE: ALL RAILINGS SHALL BE ABLE TO RESIST SINGLE CONCENTRATED LOADS OF 200 LBS IN ANY DIRECTION AT ANY POINT ALONG THE TOP. COMPONENTS SUCH AS BALUSTERS SHALL BE ABLE TO RESIST HORIZONTAL LOADS OF 50 LB PER 1 SQ FT.



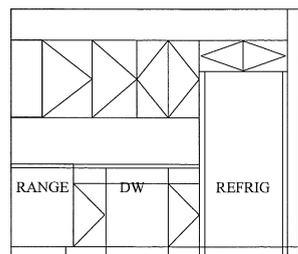
(SIDE) EAST ELEVATION



(SIDE) WEST ELEVATION



ELEVATION A
KITCHEN ELEVATION
1/2"=1'-0"



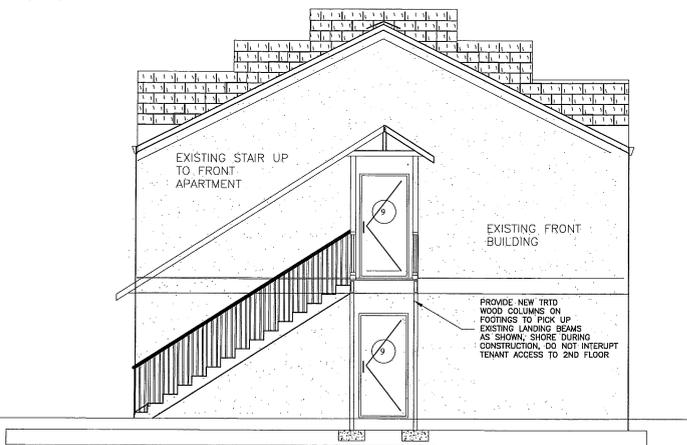
ELEVATION B



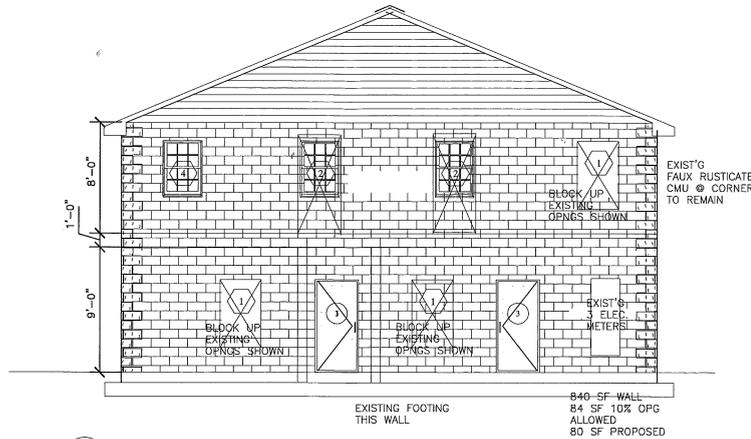
PARHAM
5377 MOCKHORN BAY DRIVE, CAPE CHARLES VIRGINIA 23310-2184
757-331-0591 ... dtrck@jctdof.com
PARHAM ARCHITECT, R.A., NCARB
www.parhamarchitect.com

AMES LOGDE- REAR BUILDING
718 RANDOLPH AVE., CAPE CHARLES, VA
2ND FLOOR PLAN & ELEVATIONS

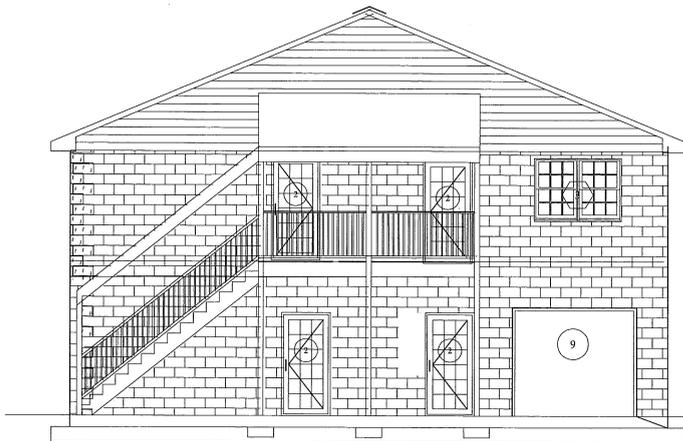
IP	7/21/16		A-3
201601	1/4"=1'-0"		



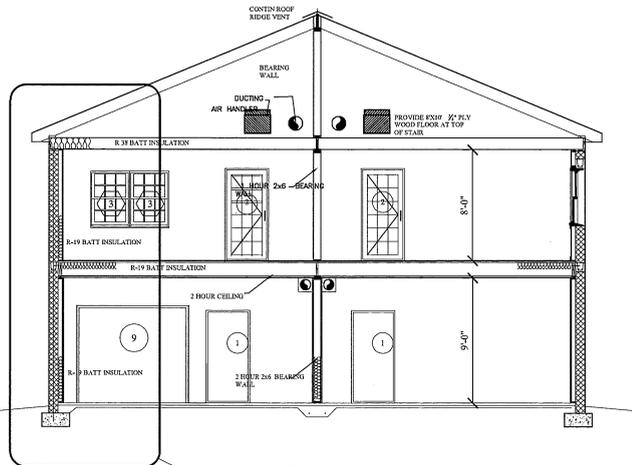
AA COURT YARD SECTION LOOKING NORTH TO EXISTING FRONT BUILDING



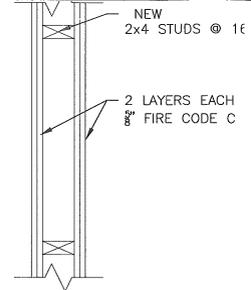
BB COURT YARD SECTION LOOKING TO NEW REAR BUILDING



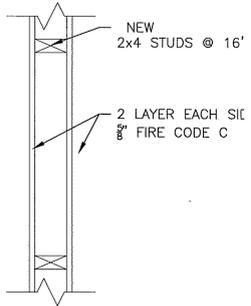
SOUTH ELEVATION



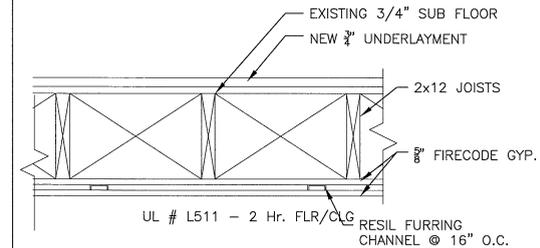
CC SECTION LOOKING TO SOUTH



UL # 301 - 2 Hr. Wall



UL # 301 - 1 Hr. Wall



UL # L511 - 2 Hr. FLR/CLG
RESIL FURRING CHANNEL @ 16" O.C.

FIRE SEPARATION DETAILS
NTS



PARHAM

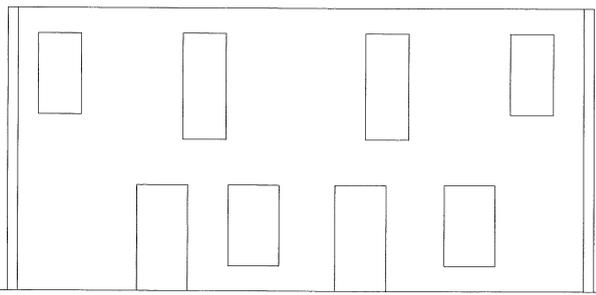
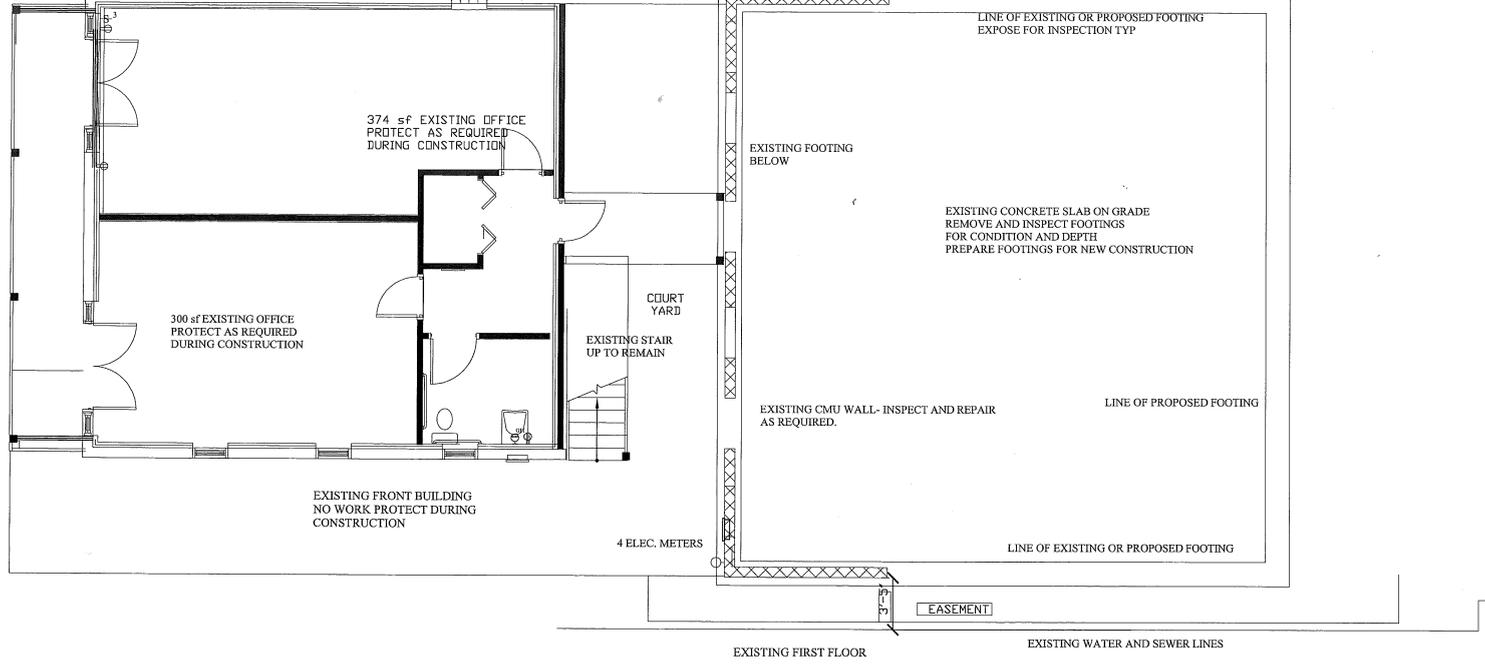
5377 MOCKHORN BAY DRIVE, CAPE CHARLES VIRGINIA 23104-2184
757-531-0591 ... rldk@icloud.com
PARHAM ARCHITECT, R.A., NCARB
www.parhamarchitect.com

AMES LODGE
718 RANDOLPH AVE., CAPE CHARLES, VA
ELEVATIONS & FIRE SEPARATION DETAILS

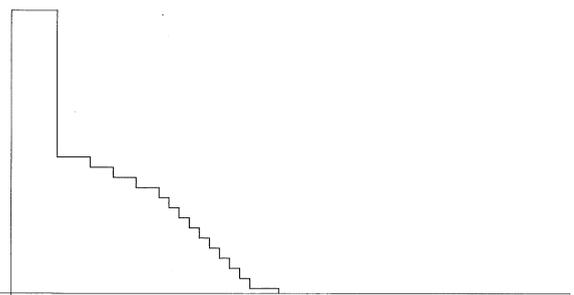
IP 7/21/16
201601 1/4"=1'-0"



A-4



EXISTING FREE STANDING CMU WALL SOUTH ELEVATION



EXISTING PARTIAL CMU WALL WEST ELEVATION (EAST SIMILAR)



PARHAM
 5377 MOCKHORN BAY DRIVE, CAPE CHARLES VIRGINIA 23310-2184
 757.331.6591 • 757.626.0100
 PARHAM ARCHITECT, R.A., NCARB
 www.parhamarchitect.com

AMES LODGE-REAR BUILDING
718 RANDOLPH AVE., CAPE CHARLES, VA
EXISTING CONDITIONS & DEMO

TCS/lp	7/21/16		EC-1
201601	1/4"=1'-0"		