

Historic District Review Board

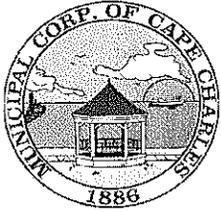
Regular Session Agenda

November 20, 2012

4:30 P.M.

2 Plum Street, Cape Charles, VA

1. Call to Order; Roll Call
2. Invocation and Pledge of Allegiance
3. Consent Agenda
 - A. Approval of Agenda Format
 - B. Approval of Minutes
4. New Business
 - A. 4 Tazewell Avenue – Deck Addition and Porch Enclosure (Tax Credit)
 - B. Central Park Bathroom Building
5. Old Business
 - A. Hotel Cape Charles – Second Floor Balcony Modification
6. Announcements
7. Adjourn



DRAFT
HISTORIC DISTRICT REVIEW BOARD
Regular Meeting
Town Hall
October 16, 2012
4:30 p.m.

At approximately 4:30 p.m. Chairman Russ Dunton, having established a quorum, called to order the Regular Meeting of the Historic District Review Board. In addition to Chairman Dunton, present were Bob Sellers, Jan Neville, Dianne Davis and Terry Strub. Also in attendance were Town Planner Tom Bonadeo and Assistant Town Clerk Amanda Hurley as well as Donna and Greg Kohler, applicants for the accessory building modifications at 711 Tazewell Avenue. There was one member of the public in attendance.

Dianne Davis gave the invocation followed by the recitation of the Pledge of Allegiance.

CONSENT AGENDA:

Motion made by Dianne Davis, seconded by Bob Sellers, and unanimously approved to accept the agenda as presented.

The Historic District Review Board reviewed the minutes of the September 18, 2012 Regular Meeting.

Russ Dunton pointed out the second sentence in the last paragraph on the third page and explained his intent. The language was changed to read "Russ Dunton expressed dissatisfaction for the plans for the third floor balcony."

Motion made by Dianne Davis, seconded by Jan Neville, to approve the minutes of the September 18, 2012 Regular Meeting as amended. The motion was unanimously approved.

NEW BUSINESS:

A. 711 Tazewell Avenue - Accessory Building Modifications:

Dianne Davis noted a typographical error in the last paragraph of the staff report.

Tom Bonadeo began by explaining that any accessory building over 200 square feet required a building permit. Tom Bonadeo gave a brief overview of the accessory building at 711 Tazewell Avenue and stated that windows and doors would be modified but, both the roof and the vinyl siding would remain as they were. This property was the Fig Street Inn and it had a Conditional Use Permit for a Bed and Breakfast and had been operated as such for 19 months. Tom Bonadeo noted that the accessory building would be used as an additional bedroom space and recognized that this was allowed under the Conditional Use Permit. The accessory building was not visible from the street, but it could be seen from the alley way. There were photos of the current walls as well as the window replacement drawings. The first photo and accompanying drawing showed that there would be three windows along the east side of the building; two would remain where they were, two would be covered over and the door would be covered over and replaced with a window. The second photo showed that a window would be added on the side where there were no windows currently and the third photo of the north side would have two windows added and the air condition unit in the middle would be taken out and vinyl siding added to cover the hole it left.

Russ Dunton confirmed that there was no change to the footprint of the building. Tom Bonadeo stated that the building was not part of the original structure, but was within the overlay

district; therefore, it required review from the Board. Tom Bonadeo noted that the changes would not only be an improvement to the alley side of the building, but also an enhancement to the Kohler's business by creating another bedroom space.

Terry Strub asked the Kohlers if the building was handicap accessible. Mrs. Kohler responded by stating that the Bed and Breakfast was not required to be handicap accessible, however, this building was at ground level and could be deemed "slow walker friendly" with one small six inch step into the accessory building.

Dianne Davis commented on the building's use as a bedroom. Tom Bonadeo replied that the use of the building was not stated in the staff work, but he had mentioned at the beginning of the meeting that it had a bedroom and bathroom facility. Tom Bonadeo commented that the Planning Commission allowed this through the Conditional Use Permit and the Historic District Review Board did not review this because there was no exterior work done to the original renovation of the house. Russ Dunton commented that the Historic District Review Board rarely got involved in the use of a building.

Tom Bonadeo asked the Kohlers how many bedrooms were allocated and Mrs. Kohler responded by stating they currently had four, but they were licensed for six. Mrs. Kohler stated that there were four in the house and this accessory building would create the fifth unit. Tom Bonadeo informed the Board that when five bedrooms were exceeded, additional building codes and regulations needed to be followed such as sprinklers and other modifications.

Tom Bonadeo summarized the modification by stating there was no change to the footprint, roof or siding except for repairs where necessary. Only certain window and door areas would be closed and windows would be added. This accessory building was also referred to as the pool house; however, the pool was no longer there.

Tom Bonadeo recommended the approval of the modifications to the Board and stated the Kohlers were available to answer any questions. Russ Dunton asked the Board if there were any concerns or questions and commented that he did not have any issues for improving the exterior of the building. Terry Strub asked if the accessory building was connected to the house in any way and Mr. Kohler replied that there was a two foot covered breezeway. Russ Dunton asked how many building lots the property was on and the Kohlers responded that it was seven.

Tom Bonadeo indicated that a motion was in order for the recommendation and Russ Dunton asked the Board what they proposed to do.

Motion made by Jan Neville, seconded by Terry Strub, to approve the accessory building modifications for 711 Tazewell Avenue. The motion was unanimously approved.

OLD BUSINESS:

There was no old business to review.

ANNOUNCEMENTS:

Tom Bonadeo introduced newly appointed Historic District Review Board member Terry Strub. He explained that a Steering Committee for the second phase of the Trail Project was being formed and they were looking for one member from the Historic District Review Board and one member from the Planning Commission for this committee. The scope of the section was North Peach Street and Washington Avenue and Tom Bonadeo asked if the Board would consider Terry Strub for the representative on this committee since she lived on Washington Avenue. Russ Dunton asked if anyone else on the Board was interested in serving on this committee, but Terry Strub was the only volunteer.

Tom Bonadeo mentioned that he had been in contact with David Gammino and his architects were working on new drawings for the Hotel balcony modification. The Hotel planned to close sometime in November for the winter season and they would have the new plans to submit for the Historic District Review Board's November meeting. If the Board approved those plans, the Hotel would be able to work on those modifications during the winter months. Russ Dunton asked if the Hotel was still doing business. Tom Bonadeo replied that statistically, 1,500 people stayed there this summer and 44 countries were represented. Tom Bonadeo calculated the following; i) if 1,500 people stayed only one night, that would potentially require two meals which would be 3,000 meals; and ii) if those people stayed more than two nights, that would be 4,500 to 7,000 meals in this Town. Tom Bonadeo remarked that that was an astronomical impact on the Town. Russ Dunton commented that he read in an article that meals tax revenue for the Town had increased significantly from last year to this year and Tom Bonadeo noted that the Hotel was one of the reasons for this and also mentioned that the Rittenhouse Motor Lodge had received more business due to overflow from the Hotel when it was full.

Dianne Davis read aloud a thank you card from Linda Carola addressed to Russ, Jan, Bob and Dianne.

Motion made by Dianne Davis, seconded by Bob Sellers, to adjourn the Historic District Review Board Regular Meeting. The motion was unanimously approved.

Chairman Russ Dunton

Asst. Town Clerk

Historic District Review Board Staff Report

From: Tom Bonadeo

Date: November 20, 2011

Item: 4A – 4 Tazewell Avenue – Deck Addition and Porch Enclosure

Attachments: Photo and plans

Application Specifics

An application has been received to add a rear deck to the house at 4 Tazewell Avenue and to enclose the rear porch permanently. This house is undergoing a Historic Restoration for Tax Credit.

The foundation restoration is underway at this time and does not involve any modification to the exterior of the house. This work is required as the foundation at the rear of the building is over very compressible soils. This rear portion of the building is much lower than the front of the building.

Discussion

The plan sheets show the house as it currently exists. Also included is the elevation certificate and drawings of the proposed modifications. The rear porch is already partially enclosed and the owner proposes to complete the enclosure to install a bathroom.

The proposal is also to install a new, ground level, deck on the rear of the house in the southwest corner. Little, if any of these modifications will be seen from the street.

These modifications must also be approved by DHR in Richmond in order to qualify for the Tax Credit. This is a good example of the allowed modifications to Historic Buildings within the Secretary of the Interior's Guidelines.

Recommendation

Staff recommends the approval of the bathroom enclosure and deck as they meet the intent of the ordinance and qualify for the State Tax Credit Program administered through DHR.

MUNICIPAL CORPORATION OF CAPE CHARLES, VIRGINIA

Application for Historic District Review

Date: 10-19/12
* (Attach plans)

Permit No.: _____
Fee: \$50.00 Ad

Applicant: LEON PARHAM
Address: 210 HARBOUR AVE
Telephone: 757 331 8133

Signature: [Signature]
Cape Charles, VA 23310
Cell: 757 331 0591

Owner(s): BRUCE C. JONES GITTINGER
Address: 8221 OLD COURTHOUSE RD City: VIENNA State: VA Zip: 22182

Contractor: SEAN INGRAM
Address: _____ City: _____ State: _____ Zip: _____
Telephone: _____ Cell: _____
Town License No.: _____ State License No.: _____

Location of Improvement: 4 TAZEWELL
Lot No.: _____ Block No.: 83 43-2-3-0 Lot Size: 140 x 80' Lot Area: _____
Type of Improvement: HISTORIC RESTORATION - NEW REAR DECK - ENCLOSURE REPAIR
Proposed Use: NO CHANGE PERMIT
Estimated Construction Costs: _____

Dimension of Structure or Improvement:
Width: _____ Length: _____ Height: _____
Total Square Footage: _____

Structure of Improvement will be set back:
_____ from front property line
_____ from side property line
_____ from side property line on corner lot
_____ from rear property line
_____ from alley

Town Water Permit: _____ Town Sewer Permit: _____

CERTIFICATION OF APPLICANT

I hereby certify that I have the authority to make the foregoing application, that the information given is true and correct, and that the construction or improvements will conform to the regulations in the Virginia Statewide Building Code, all pertinent Town Ordinances, including fire, sewer, and water ordinances, and private building restrictions, if any, which may be imposed on the property by deed. Furthermore, I certify that the changes to the improvement before or during construction will be provided to the Zoning Administrator and Building Official before such changes are constructed.

Signature of Owner/Agent: [Signature]

11/7/2012

Jeb Brady Building Official
Town Hall
Cape Charles, VA 23310

Re: Gittinger Residence at 4 Tazewell Avenue, Cape Charles, VA

Dear Jeb:

Per discussions, this letter is to certify that any work anticipated on the above residence, prior to Historic approvals on 11/20, will be in the nature of interior and infrastructure work and not in the purview of the Historic review.

Please let me know if you have questions.

Sincerely,

Leon Parham Architect, NCARB

210 Harbor Avenue
Cape Charles, VA 23310

SHORE ENGINEERING CO., INC.

ENGINEERS • CONSULTANTS • SURVEYORS

P.O. Box 354 Melfa, Va. 23410

Area Code 757 • 787-2773 • 787-2798 • Fax 787-1246



CHARLES E. COOLEY, P.E., PRES.
GEORGE E. WALTERS, C.L.S., SEC.-TREAS.

Addendum

Bruce Lee Gittinger and Jone Wilson Gittinger
4 Tazewell Ave., Cape Charles, Va. 23310
September 14, 2012

Structure is a two and one half (2 ½) story brick building supported by a concrete and masonry foundation. The basement consists of three (3) sections

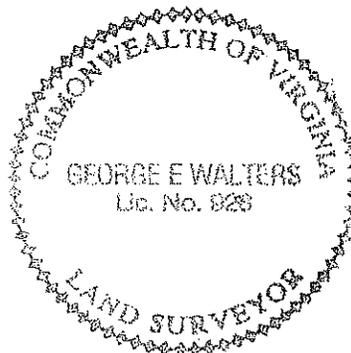
1) Section "X" contains 520 sq. ft., has a concrete floor at elevation 5.0', a sump pump at elevation 3.0' and a furnace at elevation 5.6'. It has three (3) windows, 2.6'H x 2.55'W, total 2864 sq. in. at elevation 8.1'. It has a door to the outside, 2.55'W x 6.65'H, 2442 sq. in. at elevation 7.9'. Lowest electric outlet, elevation 8.0', Lowest fuse panel, elevation 9.7'

2) Section "Y" contains 66 sq. ft., has a concrete floor at elevation 5.6'. It has a door opening to the outside, 2.55'W x 2.85'H, 1047 sq. in. at elevation 7.8'. There is an opening into Section "X", 1.7'W x 2.5'H, 612 sq. in. at elevation 6.0'

3) Section "Z" contains 240 sq. ft., has a dirt floor at elevation 6.0' and an opening 2.6'W x 2.95'H, 1104 sq. in. at elevation 7.6' into Section "X".

Attached porch is supported by a brick foundation, floor elevation is 11.0', ground elevation under the porch is 5.0'.

There are no flood vents, ductwork or HVAC units in place.



ELEVATION CERTIFICATE

OMB No. 1660-0008
Expires March 31, 2012

Important: Read the instructions on pages 1-9.

| SECTION A - PROPERTY INFORMATION | | For Insurance Company Use: |
|---|--|----------------------------|
| A1. Building Owner's Name <u>Bruce Lee Gittinger & Jone Wilson Gittinger</u> | | Policy Number |
| A2. Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. <u>4 Tazewell Ave.</u> | | Company NAIC Number |
| City <u>Cape Charles</u> State <u>Va</u> ZIP Code <u>23310</u> | | |

A3. Property Description (Lot and Block Numbers, Tax Parcel Number, Legal Description, etc.)
Sea Cottage Addition, Block 3, Lots 8&11, Cape Charles, Capeville Dist., Northampton Co. Va. Co. Tax Map: 083A3-02-03-008&011

A4. Building Use (e.g., Residential, Non-Residential, Addition, Accessory, etc.) Residential

A5. Latitude/Longitude: Lat. N37d36.89' Long. W75d52.47' Horizontal Datum: NAD 1927 NAD 1983

A6. Attach at least 2 photographs of the building if the Certificate is being used to obtain flood insurance.

A7. Building Diagram Number 1B

A8. For a building with a crawlspace or enclosure(s):

| | | | | |
|---|---|--|---|-------------------|
| a) Square footage of crawlspace or enclosure(s) | <u>826</u> sq ft | A9. For a building with an attached garage: | a) Square footage of attached garage | <u>N.A.</u> sq ft |
| b) No. of permanent flood openings in the crawlspace or enclosure(s) within 1.0 foot above adjacent grade | <u>0</u> | b) No. of permanent flood openings in the attached garage within 1.0 foot above adjacent grade | <u>N.A.</u> | |
| c) Total net area of flood openings in A8.b | <u>0</u> sq in | c) Total net area of flood openings in A9.b | <u>N.A.</u> sq in | |
| d) Engineered flood openings? | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No | d) Engineered flood openings? | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No | |

SECTION B - FLOOD INSURANCE RATE MAP (FIRM) INFORMATION

| | | | | | |
|--|------------------------|---|---|--------------------------------|---|
| B1. NFIP Community Name & Community Number <u>Cape Charles 510106</u> | | B2. County Name <u>Northampton</u> | | B3. State <u>Va</u> | |
| B4. Map/Panel Number <u>51131C0295</u> | B5. Suffix <u>E</u> | B6. FIRM Index Date <u>Aug. 28, 2008</u> | B7. FIRM Panel Effective/Revised Date <u>Aug. 28, 2008</u> | B8. Flood Zone(s) <u>AE</u> | B9. Base Flood Elevation(s) (Zone AO, use base flood depth) <u>9</u> |

B10. Indicate the source of the Base Flood Elevation (BFE) data or base flood depth entered in Item B9.
 FIS Profile FIRM Community Determined Other (Describe) _____

B11. Indicate elevation datum used for BFE in Item B9: NGVD 1929 NAVD 1988 Other (Describe) _____

B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)? Yes No
Designation Date _____ CBRS OPA

SECTION C - BUILDING ELEVATION INFORMATION (SURVEY REQUIRED)

C1. Building elevations are based on: Construction Drawings* Building Under Construction* Finished Construction
*A new Elevation Certificate will be required when construction of the building is complete.

C2. Elevations - Zones A1-A30, AE, AH, A (with BFE), VE, V1-V30, V (with BFE), AR, AR/A, AR/AE, AR/A1-A30, AR/AH, AR/AO. Complete Items C2.a-h below according to the building diagram specified in Item A7. Use the same datum as the BFE.
Benchmark Utilized RM 11 Vertical Datum 1929
Conversion/Comments N.A.

Check the measurement used.

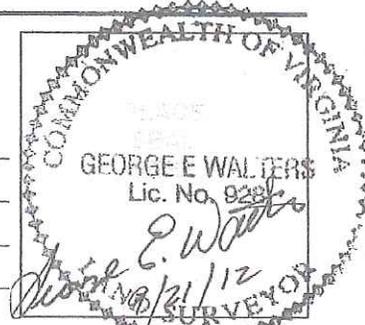
| | | |
|--|-------------|---|
| a) Top of bottom floor (including basement, crawlspace, or enclosure floor) | <u>5.0</u> | <input checked="" type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only) |
| b) Top of the next higher floor | <u>12.3</u> | <input checked="" type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only) |
| c) Bottom of the lowest horizontal structural member (V Zones only) | <u>N.A.</u> | <input checked="" type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only) |
| d) Attached garage (top of slab) | <u>N.A.</u> | <input checked="" type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only) |
| e) Lowest elevation of machinery or equipment servicing the building (Describe type of equipment and location in Comments) | <u>3.0</u> | <input checked="" type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only) |
| f) Lowest adjacent (finished) grade next to building (LAG) | <u>5.0</u> | <input checked="" type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only) |
| g) Highest adjacent (finished) grade next to building (HAG) | <u>6.9</u> | <input checked="" type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only) |
| h) Lowest adjacent grade at lowest elevation of deck or stairs, including structural support | <u>6.6</u> | <input checked="" type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only) |

SECTION D - SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION

This certification is to be signed and sealed by a land surveyor, engineer, or architect authorized by law to certify elevation information. I certify that the information on this Certificate represents my best efforts to interpret the data available. I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.

Check here if comments are provided on back of form. Were latitude and longitude in Section A provided by a licensed land surveyor? Yes No

| | |
|---|---|
| Certifier's Name <u>George E. Walters</u> | License Number <u>928</u> |
| Title <u>Land Surveyor</u> | Company Name <u>Shore Engineering Co., Inc.</u> |
| Address <u>P.O. Box 354</u> | City <u>Melfa</u> State <u>Va</u> ZIP Code <u>23410</u> |
| Signature <u>George E. Walters</u> | Date <u>9-18-2012</u> Telephone <u>757-787-2773</u> |



| | |
|--|----------------------------|
| IMPORTANT: In these spaces, copy the corresponding information from Section A. | For Insurance Company Use: |
| Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 4 Tazewell Ave. | Policy Number |
| City Cape Charles State Va ZIP Code 23310 | Company NAIC Number |

SECTION D - SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION (CONTINUED)

Copy both sides of this Elevation Certificate for (1) community official, (2) insurance agent/company, and (3) building owner.

Comments see addendum

Signature George E. Waller Date 9-14-2012 Check here if attachments

SECTION E - BUILDING ELEVATION INFORMATION (SURVEY NOT REQUIRED) FOR ZONE AO AND ZONE A (WITHOUT BFE)

For Zones AO and A (without BFE), complete Items E1-E5. If the Certificate is intended to support a LOMA or LOMR-F request, complete Sections A, B, and C. For Items E1-E4, use natural grade, if available. Check the measurement used. In Puerto Rico only, enter meters.

- E1. Provide elevation information for the following and check the appropriate boxes to show whether the elevation is above or below the highest adjacent grade (HAG) and the lowest adjacent grade (LAG).
 a) Top of bottom floor (including basement, crawlspace, or enclosure) is _____ feet meters above or below the HAG.
 b) Top of bottom floor (including basement, crawlspace, or enclosure) is _____ feet meters above or below the LAG.
- E2. For Building Diagrams 6-9 with permanent flood openings provided in Section A Items 8 and/or 9 (see pages 8-9 of Instructions), the next higher floor (elevation C2.b in the diagrams) of the building is _____ feet meters above or below the HAG.
- E3. Attached garage (top of slab) is _____ feet meters above or below the HAG.
- E4. Top of platform of machinery and/or equipment servicing the building is _____ feet meters above or below the HAG.
- E5. Zone AO only: If no flood depth number is available, is the top of the bottom floor elevated in accordance with the community's floodplain management ordinance? Yes No Unknown. The local official must certify this information in Section G.

SECTION F - PROPERTY OWNER (OR OWNER'S REPRESENTATIVE) CERTIFICATION

The property owner or owner's authorized representative who completes Sections A, B, and E for Zone A (without a FEMA-issued or community-issued BFE) or Zone AO must sign here. *The statements in Sections A, B, and E are correct to the best of my knowledge.*

Property Owner's or Owner's Authorized Representative's Name _____

Address _____ City _____ State _____ ZIP Code _____

Signature _____ Date _____ Telephone _____

Comments _____

Check here if attachments

SECTION G - COMMUNITY INFORMATION (OPTIONAL)

The local official who is authorized by law or ordinance to administer the community's floodplain management ordinance can complete Sections A, B, C (or E), and G of this Elevation Certificate. Complete the applicable item(s) and sign below. Check the measurement used in Items G8 and G9.

- G1. The information in Section C was taken from other documentation that has been signed and sealed by a licensed surveyor, engineer, or architect who is authorized by law to certify elevation information. (Indicate the source and date of the elevation data in the Comments area below.)
- G2. A community official completed Section E for a building located in Zone A (without a FEMA-issued or community-issued BFE) or Zone AO.
- G3. The following information (Items G4-G9) is provided for community floodplain management purposes.

| | | |
|-------------------|------------------------|---|
| G4. Permit Number | G5. Date Permit Issued | G6. Date Certificate Of Compliance/Occupancy Issued |
|-------------------|------------------------|---|

- G7. This permit has been issued for: New Construction Substantial Improvement
- G8. Elevation of as-built lowest floor (including basement) of the building: _____ feet meters (PR) Datum _____
- G9. BFE or (in Zone AO) depth of flooding at the building site: _____ feet meters (PR) Datum _____
- G10. Community's design flood elevation _____ feet meters (PR) Datum _____

Local Official's Name _____ Title _____

Community Name _____ Telephone _____

Signature _____ Date _____

Comments _____

Check here if attachments

Building Photographs

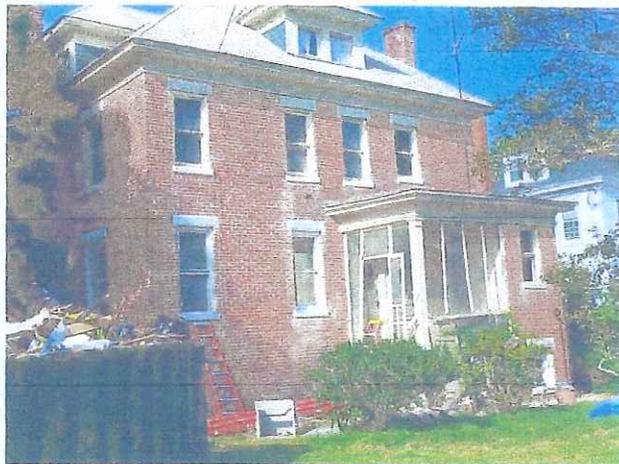
See Instructions for Item A6.

| | |
|---|----------------------------|
| Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 4 Tazewell Ave. | For Insurance Company Use: |
| | Policy Number |
| City Cape Charles State Va ZIP Code 23310 | Company NAIC Number |
| If using the Elevation Certificate to obtain NFIP flood insurance, affix at least two building photographs below according to the instructions for Item A6. Identify all photographs with: date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View." If submitting more photographs than will fit on this page, use the Continuation Page on the reverse. | |

Pictures taken 9-14-2012



Front View



Rear View



Building Photographs

Continuation Page

| | |
|--|---|
| Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 4 Tazewell Ave. | For Insurance Company Use: Policy Number |
| City Cape Charles State Va ZIP Code 23310 | Company NAIC Number |

If submitting more photographs than will fit on the preceding page, affix the additional photographs below. Identify all photographs with: date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View."



GITTINGER RESIDENCE RENOVATION/RESTORATION

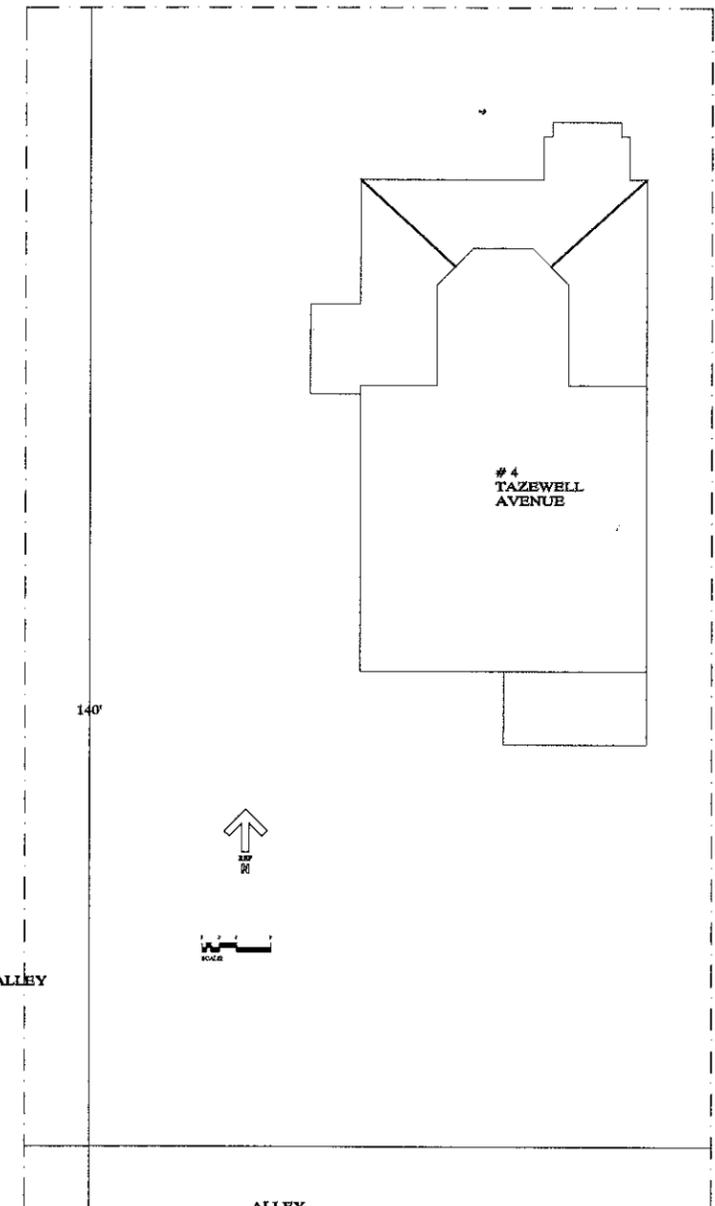
4 TAZEWELL AVENUE, CAPE CHARLES, VA



INDEX TO DRAWINGS:

- C-1 COVER SHEET - SURVEY AND NOTES
- EC-1 EXISTING CONDITIONS AND DEMO
- A-1 PROPOSED FLOOR PLANS & SCHEDULES
- A-2 PROPOSED FLOOR PLANS
- A-3 PROPOSED ELEVATIONS
- A-4 PROPOSED ELEVATIONS

CODE & ZONING NOTES
CAPE CHARLES ZONING DISTRICT R-1
HISTORIC DISTRICT
 TAZEWELL AVENUE



SITE PLAN
 SCALE: 1"= 10'

1.1 DESCRIPTION OF THE PROJECT AND ARCHITECTURAL CONCEPT

A. This project consists of the restoration/renovation of an historic 3 story brick home in the Cape Charles Historic District. This is an historic tax credit project and shall conform to town and state guidelines as well as the Secretary of the Interior's Guidelines.

1.2 PROJECT SEQUENCE AND CONSTRUCTION LIMITS

A. The project shall be limited to area shown on plans. Contractor shall comply with all applicable codes and ordinances.

1.3 SCOPE OF WORK

- A. The scope of the project is shown and described in as great a detail as is practicable in the drawings and these specifications.
- B. It is the intention of these drawings and specifications that all labor and materials required for this project whether or not specifically shown or specified shall be furnished and installed so that the new residence when turned over to the Owner will be ready for continuous and satisfactory occupancy.
- C. The Contractor is invited to make suggestions and recommendations about different methods of accomplishing the work. The Contractor is responsible for calling to the Architect and Owner's attention work not specifically called for which, in his opinion should be considered at this time.
- D. In general, written dimensions take precedence over scaled dimensions. Any discrepancies in the plans shall be brought to the Architect's attention and resolved prior to construction.

1.4 EXAMINATION OF SITE

A. The Contractor shall be responsible for examining the site. The determination of the soil, underground conditions, water, access, utilities and other conditions not otherwise indicated in the contract documents, but affecting the execution of the agreement is the responsibility of the Contractor.

1.5 APPROVED EQUALS AND SUBMITTALS

A. Specified manufacturers shall be considered the standard for items called for. Equals will be considered by the Architect upon submission of substitute manufacturer's literature, specifications and samples if required.

1.6 DELIVERY, STORAGE AND HANDLING OF MATERIAL

- A. Materials shall be stored and handled with appropriate protection and care to prevent damage. Damaged materials shall not be installed if the damage is objectionable aesthetically, structurally or functionally.
- B. Contractor shall be responsible for the ordering and delivery of materials so as not to impede the progress of the project.

1.7 INSTALLATION AND FINISHING OF MATERIALS

A. Installation and finishing of materials shall be as recommended and specified by the manufacturer, whether or not the procedures are detailed in these specifications.

1.8 PROTECTION

- A. Adjacent property: Contractor shall take all reasonable precautions to protect adjacent properties from damage due to this project. Contractor shall be responsible for repair and or settlement of any such damage.
- B. This property: Contractor shall take all reasonable precautions to protect this site from damage and loss due to work performed under this contract. Contractor shall be responsible for repair and or replacement of any such damage.

1.9 SITE MAINTENANCE

- A. During construction, the Contractor shall keep the area free from excess trash and shall maintain the area as neatly as possible for safety, health and appearance.
- B. Upon completion the Contractor shall clean the premises thoroughly, removing all construction debris, dust, broom and or vacuum etc. Wash all glass and appropriate surface.

1.10 SITE SAFETY AND FIRE PROTECTION

A. Job safety is the sole responsibility of the Contractor and he shall conform to the safety requirements of all applicable authorities.

1.11 GUARANTEES

- A. The Contractor shall guarantee his workmanship and the workmanship of the subcontractors for a period of one (1) year after the project is completed.
- B. The Contractor shall provide the new owner all guarantees and warranties provided by the several manufacturers.

1.12 TEMPORARY FACILITIES

- A. Structure: The Contractor shall provide sufficiently safe ramps, scaffolds, hoists, shoring, and guardrails as required to accomplish the work in this contract.
- B. Temporary utilities:
 1. Heat- provide safe temporary heat as required for the work of the various trades, ventilation for human safety and proper drying.
 2. Electricity and Water- Contractor shall coordinate with power company for temporary services as required.
 3. Toilets- Contractor shall provide temporary facilities.

1.13 REGULATIONS AND PERMITS

- A. All work shall be in conformance with the regulations of all authorities having jurisdiction.
- B. Contractor shall obtain and pay for all required permits. Contractor shall obtain and pay for all required inspections.

Division 2- Site Work

1.1 EARTHWORK

- (Earthwork consists of excavating, filling, grading and seeding)
- A. Excavation
 1. Excavate to elevations, and dimensions indicated and normal practice ditches.
 2. Remove topsoil from areas to be excavated and stock pile for future use.
 3. If suitable bearing is not encountered at the depths indicated for foundations, the contractor shall immediately notify the Architect. He shall not proceed further until correct bearing is determined.
 4. Contractor shall control the grading around the building so that ground is pitched to keep water from running into excavations. Maintain all trenches and pits where footings are to be placed free of water. Provide pumping necessary to keep excavated areas free of water during construction.
 5. Where soil conditions permit, footing trenches may be excavated to the exact dimensions of the concrete and side forms omitted. Place footings and foundations on undisturbed and firm earth. Fill with concrete any excess cut under footings and foundations.
 - B. Filling
 1. Remove from areas to be filled all debris subject to termite attack, rot, or corrosion and all discarded construction material such as blocks, concrete, or mortar.
 2. Excavated material that is suitable may be used for fills and backfills, as required. All surplus excavated material not required for grading etc. shall be removed from the site.
 3. Fill and backfill shall be compacted to a dry density of at least 95% of the modified Proctor maximum dry density (ASTM C-1557)
 4. The compaction shall be accomplished by placing the fill in essentially level lifts of not more than 8" and mechanically compacting each lift to at least specified dry density.
 - C. Grading
 1. Do all filling, compacting of fills and rough grading required to bring the areas outside and inside the building to subgrades for finish grades as shown.
 2. Finish grading of all areas where work is to be performed, including excavated and fill sections and adjacent transition areas shall be reasonably smooth, compacted and free from irregular surface change and free of debris.
 3. Finish grading around structures shall pitch away from structure, areasways, etc.
 4. Seeding and planting by others.

1.2 Selective Demolition

- A. Exterior- Remove shutters for repair. Remove rotted wood stairs, provide safety barrier.
- B. Interior- Remove all accretions such as carpet, paneling, cabinetry, to prepare for construction

Division 3- Concrete

1.1 FOOTINGS

- A. Concrete shall have 28 day strength of 3000 psi.
- B. Assumed foundation pressure is 2000 psf. Contractor shall inform the Architect if there is any reason to doubt the soil bearing capacity.
- C. Footings shall be placed on undisturbed soil or compacted fill no less than 2'-0" below finish grade.
- D. Any fill material shall be free of organic or deleterious substances, rock, ice, or lumps larger than 6".

1.2 CONCRETE

- A. All concrete work including reinforcing materials and details, mixing, placing and curing shall conform to ACI-318-77, and building code requirements for reinforced concrete.
- B. Do not cast any Aluminum conduit or inserts in concrete. Cast concrete only against the surface of aluminum items which have a protective bituminous coating.
- C. Products
 1. Cement- Portland cement, fresh stock, conforming to ASTM C150-78a, Type 1.
 2. Fine aggregates - clean, hard, washed natural sand conforming to ASTM C 40-79.
 3. Coarse aggregates - ASTM C33-78a.
 4. Water-clean, fresh, free from harmful matter. All concrete shall be ready mixed in accordance with ASTM C94-78a.
 5. Mix for grout and drypack shall be one (1) part Portland cement and two (2) parts sand.
 6. Follow recommendation procedures of ACI 304-73 for placing concrete.

1.3 CONCRETE REINFORCING

- A. Concrete reinforcing shall conform to ASTM A615-78 and shall be manufactured from new billet steel, clean and free from rust.
- B. Welded wire fabric shall conform to ASTM A 185-79.
- C. Place reinforcing accurately in forms in secure and substantial manner in accordance with CRSI publication "Placing Reinforcing Bars", latest edition and to conform to code requirements.
- D. Securely space and hold reinforcing and dowels with required ties, clips, and accessories to prevent displacement before and during concrete placement.
- E. Protect reinforcing by thickness of concrete recommended in ACI 318-77.
- F. Bending and tying of reinforcing bars shall be as per ACI 318-77.
- G. Install wire fabrics in lengths as long as possible. Lap adjoining edges and ends at least one full mesh, lace splices with 16 gauge wire.
- H. Where drawings indicate continuous reinforcing bars, lap corners and splices a minimum of 36 bar diameters and tie tightly with wire.

Division 4- Masonry

1.1 CONCRETE MASONRY UNITS

- A. Provide all concrete block for foundation.
- B. Provide concrete footings as shown.
- C. Block to conform to ASTM C-90
- D. Provide Type M mortar below grade ASTM 270
- E. Provide horizontal reinforcing as shown.

1.2 FACE BRICK

- A. Provide face brick at all exposed faces, match original brick.
- B. Provide selective pointing, match original mortar make up, color and profile, typ.

Division 6 - Wood and Plastics

1.1 ROUGH CARPENTRY

- A. All lumber shall conform to American Soft Wood Lumber Standard PS-20-70, ASTM D 245 visual grading rules and shall bear the grade mark of National Forest Product Association approved agency.
- B. All lumber shall be S4S, surfaced four sides, unless otherwise noted.
- C. Moisture content of lumber 2" or less in thickness shall be 19% or less at time of enclosure.
- D. Roof and wall framing shall be adequately braced against lateral and other forces during construction.
- E. Unless otherwise shown, all structure shall comply with International residential code as a minimum for all timber connections.
- F. Framing lumber including roof sheathing to be in accordance with the standards and specifications of the American Institute of Timber Construction. AITC framing lumber shall be as follows:
 1. minimum bending stress shall be 1200 psi
 2. light framing #2
 3. plates, blocking and nailers #2
 4. studs, load and non-loadbearing #2
 5. 2x4 and wider plates, blocking and nailers #2
 6. posts and columns #2
 7. boards- suitable for intended use by normal carpentry standards.
- G. Treated lumber: All wood used in contact with concrete or masonry, below grade or embedded therein and where indicated on the drawings shall be treated on all surfaces, including field cuts with Wolman CCA wood preservatives and shall bear the trade mark "Wolmantized" by Koppers Co. Inc., or equal.
- H. Provide structural connections by TECO, or Simpson Strongtie or equal. Provide hurricane ties at each rafter. Joist hangers, post bases etc. shall be size and type as required for the installation.

1.2 FINISH CARPENTRY

- A. Interior wood work for paint finish: All interior wood trim, see drawings. Repair and reuse existing, replicate where necessary.
- B. All exterior trim, patch and repair. Repair shutters, replicate parts necessary.
- C. Recreate widows walk railing, balusters, and newels with pvc, and typon as specified.

Division 7- Thermal and Moisture Protection

1.1 GENERAL

- A. It is the intention of this project to create water and air tight building envelope. The following special considerations shall be made.
 1. Seal foundation walls as per manufacturer direction and at openings created by incoming
 2. Provide batt insulation where ever possible in exterior walls.
 3. Provide Tyvak building wrap or equal on plywood siding, typical at new construction.
 4. All voids around windows and doors shall be filled.

1.2 FLASHING

A. Provide through wall flashing at all windows, doors, top of masonry walls, and at base of walls.

1.3 INSULATION

- A. All materials shall be Owens Corning or equal. Always install with vapor barrier toward the warm (heated) side. Install in accordance with manufacturers specifications.
- B. Schedule:
 1. In exterior walls & floors 6" R-19 min. batt with vapor barrier, where possible.
 2. In ceiling/attic 9" R-38 min. batt with vapor barrier.
 3. In interior walls at bathrooms and bedrooms, unfaced-sound attenuation blankets, 3/4" typical, where possible.

1.4 CAULKING

- A. Primer, joint filler, and caulk shall be of type, material and color appropriate to the installation.
- B. Follow manufacturers recommendations and specifications in regard to use of primers and surface conditions, required for optimum adhesion and water resistant conditions.
- C. Caulk at all windows and doors, joints, dissimilar materials and elsewhere to create a watertight condition.
- D. Tool joints immediately to assure maximum contact between caulk and substrate.
- E. Caulking shall have a smooth even appearance and finish.

1.5 ROOFING

- A. Provide "Grand Manor" or equal slate look for steep roofs. High wind type, 40 year min.
- B. Provide Standing seam alum. at low slope porch roofs.

1.6 SIDING

- A. Provide T&G grooved PVC siding at enclosed porch.
- B. Trim shall be cellular PVC.
- C. Provide mild detergent masonry cleaning- provide sample area before proceeding.

Division 8- Doors and Windows

1.1 DOORS

- A. Interior doors and hardware to be reused. See schedule.
- B. Exterior doors to be existing or as selected. See schedule.

1.2 FINISH HARDWARE

- A. Reuse existing or replicate.

1.3 WINDOWS AND VENTS

- A. Existing windows to be refurbished, repair as required.
- B. New windows to be Integrity by Marvin

Division 9- Finishes

1.1 GYPSUM WALL BOARD

- A. Gypsum wall board to be manufactured by US Gypsum or equal.
- B. Regular wall board to be 1/2" thick by 48" wide with tapered edges by the longest practicable length to minimize joints. Use WR or green board in damp locations. Wonderboard or equal at wet locations behind tile or marble.
- C. Trim accessories - Corner bead- USG
- D. Joint treatment: Tape and compound shall be by same manufacturer as the board. Products shall conform to ASTM C474 and C745.
- E. Fasteners: Nails and or screws used for fastening board shall be of size, type and spacing recommended by the manufacturer for the specific location and use.
- F. Installation: Installer shall inspect all parts of the supporting structure and notify contractor or correct any condition detrimental to the application. Follow manufacturers recommendation and specification for installation and trim. All joints shall be sanded smooth and finish work shall appear monolithic and be cleaned prior to painting. Any reworking of joints and or nail pops shall be repaired to the satisfaction of the Owner.

1.2 PAINTING

- A. Contractor shall supply the Owner with color selection for the paint to be used. Acceptable manufacturers are:
 - Samson
 - Benjamin Moore
 - Martha Stewart
 - Sherwin Williams or equal
- B. No painting shall be done when the temperature is below 50 degrees.
- C. Contractor shall take all necessary precautions to protect other work already installed.
- D. All painted surfaces to be smooth, free of dirt, oil, wax, and dust.
- E. All materials used for painting and resultant debris shall be removed from the site. Provide owner with paint for touch ups.
- F. Contractor shall touch up the work, clean all splatters, glass, smears etc. for a first class product.
- G. Schedule

| | |
|-----------------------|---|
| Interior | |
| Gypsum board- | 1 coat primer |
| | 2 coats latex flat |
| Gypsum board-bathroom | 1 coat oil base primer |
| | 2 coats semi gloss oil base |
| Wood work | 1 coat oil base primer |
| | 2 coats semi gloss oil base |
| Exterior | 2 coats exterior latex (or factory finish) |
| | (back prime all exterior finish wood trim) |
| | trim to receive 1 coat primer and |
| | 2 coats semi gloss oil base. |
| Floor | 1 coat sealer |
| | 2 coats polyurethane semi gloss. |
| | follow manufacturer's direction for stone or ceramic tile selected. |

1.3 CERAMIC TILE and MARBLE

- A. See drawings for locations.
- B. Provide Wonderboard or equal backing for all ceramic or marble.

1.4 FLOORING

- A. Refinish existing floor, typ.

Division 10 -Specialties

1.1 BATHROOM ACCESSORIES

- A. Provide all bathroom fittings, fixtures and accessories see interior elevations.

Division 11 -Equipment

- A. Provide all appliances, coordinate with cabinets.

Division 15/16 Mechanical / Electrical

1.1 GENERAL NOTES

- A. These notes and requirements govern the work of the mechanical and electrical divisions.
- B. Architectural drawings indicate wiring and HVAC for guidance only. Contractors are responsible for code conforming installation. Coordinate with owner for exact locations of visible elements. Coordinate work with local cable TV, telephone company, LAN, and owner for installation and final location.
- C. Provide 3 zone HVAC.

1.2 PERMITS, FEES, AND CODES.

- A. The Contractor shall obtain and pay for all permits and inspections required and all fees required by any local authority or utility for connections or changes to their equipment which may be required by work under this contract
- B. Work shall conform to all applicable codes, ordinances and regulations.
- C. Contractors shall be licensed.
- D. Contractors shall be responsible for design and installation of their work. All work to conform to current standards applicable.

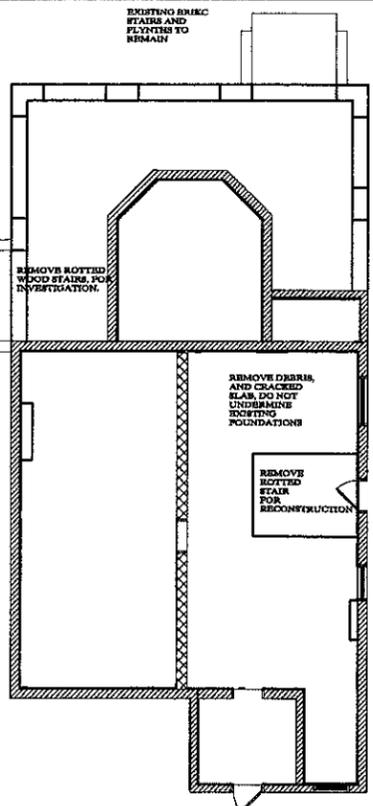
1.3 WORKMANSHIP

- A. All materials and equipment shall be installed in a first class and workman like manner and in compliance with the best methods and practices.
- B. No beams, columns, structural members, etc. shall be cut for the passage of piping, ducts, conduits, etc. without consultation with Architect.
- C. All wiring, ducts, etc. shall be run concealed.

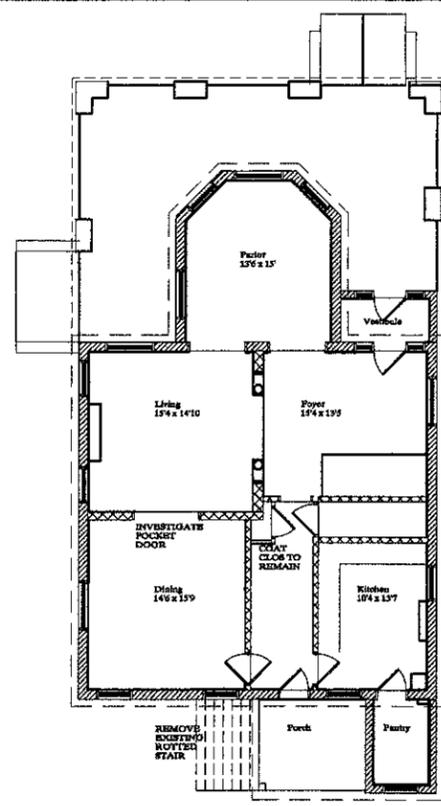


PARHAM

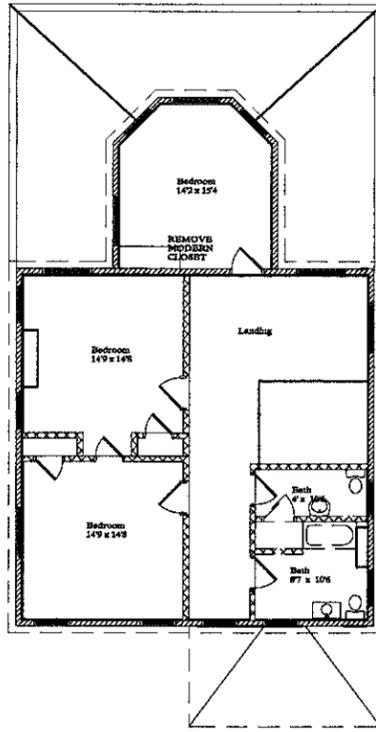
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 757.331.8133 ... ritek@verizon.net
 LEON FULLER PARHAM, ARCHITECT, R.A., NCARB



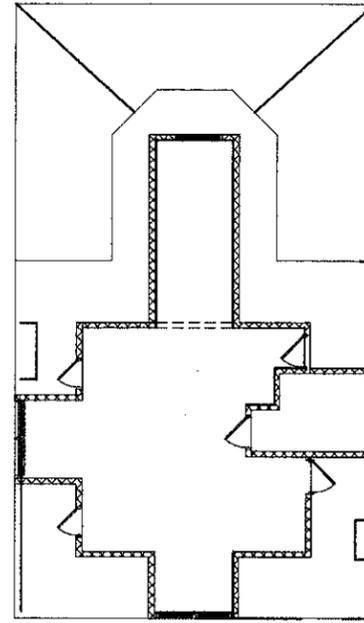
BASEMENT/CRAWL



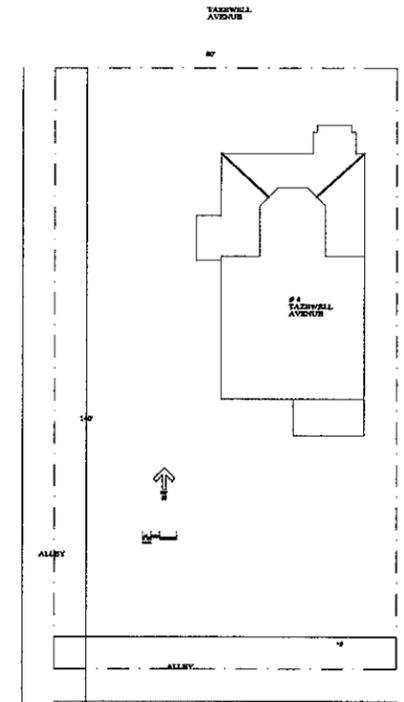
FIRST FLOOR



SECOND FLOOR



THIRD FLOOR



SITE PLAN 1" = 20'



1 FRONT (NORTH) ELEVATION
Viewpoint Scale



2 SIDE (EAST) ELEVATION
Viewpoint Scale

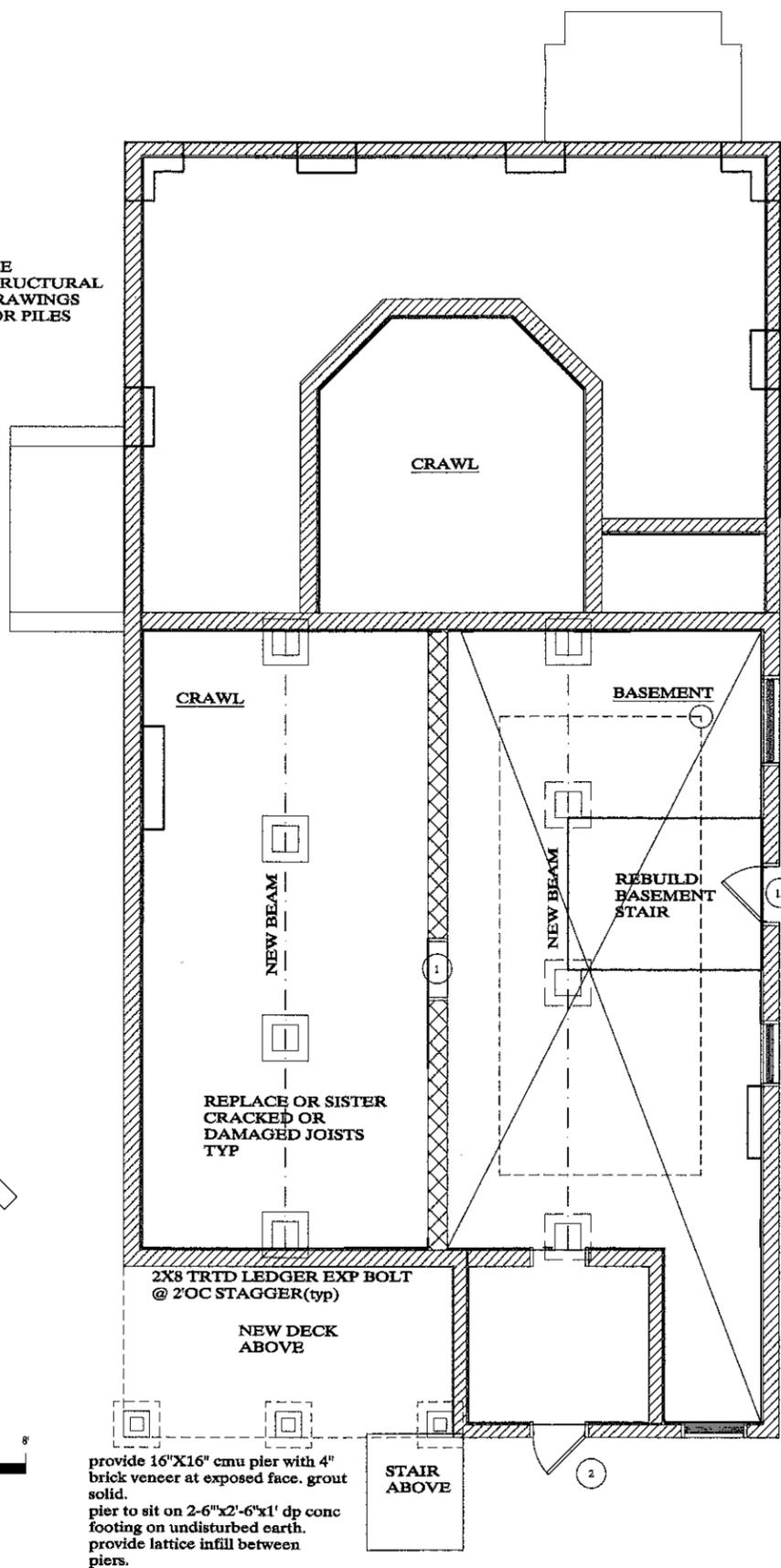


3 REAR (SOUTH) ELEVATION
Viewpoint Scale



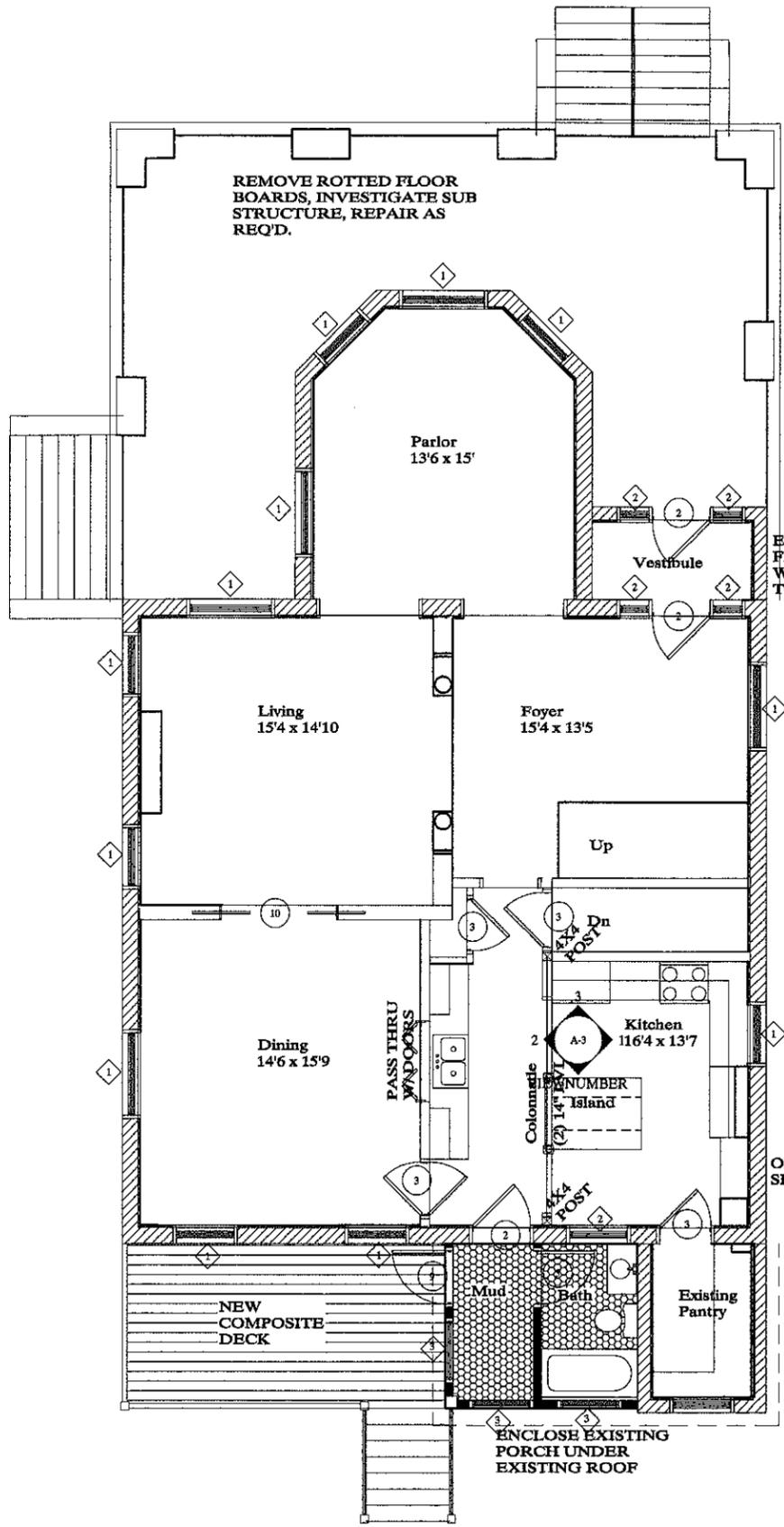
4 SIDE (WEST) ELEVATION
Viewpoint Scale

SEE
STRUCTURAL
DRAWINGS
FOR PILES



REMOVE EXISTING CONC. SLAB, STING PROVIDE PERF. PIPE IN CRUSHED STONE TO EMPTY INTO STONE SUMP. PROVIDE V.B. TO AND 4" CONC SOG WED V.B. 4X4 WWF-SLOPE FL SOG W/ TO SUMP

provide 16"X16" cmu pier with 4" brick veneer at exposed face. grout solid. pier to sit on 2'-6"x2'-6"x1' dp conc footing on undisturbed earth. provide lattice infill between piers.



WINDOW SCHEDULE -
IN GENERAL EXISTING WINDOWS SHALL REMAIN. CHECK FOR OPERATION, REPAIR AS REQUIRED. CHECK GLASS SEAL, REPAIR AS REQUIRED. PROVIDE NEW STORMS AND SCREENS - WHITE

- 1 EXISTING TO REMAIN, REFURBISH AS REQUIRED FOR SMOOTH OPERATION
- 2 EXISTING TO REMAIN, PROVIDE TEMPERED GLASS.
- 3 NEW SASH - INFINITY BY MARVIN TO MATCH

DOOR SCHEDULE
REUSE ORIGINAL 5 PANEL INTERIOR DOORS, TRIM AND HARDWARE TYP. REHANG FOR SMOOTH OPERATION, SAND PATCH AND PAINT DOORS TYP.

- 1 ACCESS PANEL FOR EXISTING CRAWL ACCESS
- 2 EXISTING TO REMAIN- CHECK FOR OPERATION REFURBISH AS REQUIRED, PROVIDE TEMP'D GLASS
- 3 EXISTING HISTORIC TO REMAIN- CHECK FOR OPERATION CORRECT AS REQUIRED
- 4 REMOVE HISTORIC DOOR FOR REUSE
- 5 INSTALL EXISTING HISTORIC DOOR IN NEW OPENING
- 6 REUSE ORIGINAL, REPLICATE, OR ADAPT ORIGINAL FOR POCKET DOOR
- 7 NEW BIPARTING CLOS TO MATCH 5 PANEL
- 8 ATTIC ACCESS
- 9 30" X 68" FULL INS GL W/ TRANSOM ABOVE BY MARVIN
- 10 ORIGINAL POCKET DOOR, INVESTIGATE EXISTANCE AND CONDITION
- 11 REPLACE EXISTING 5 PANEL W/ 30" X 68" FULL INS GL

ELECTRICAL SCHEDULE
PROVIDE RECESSED AND UTILITARIAN LIGHTING. ALL DECORATIVE PENDANT, ETC TO BE AS SELECTED, COORDINATE WITH OWNER. ALL SWITCHES AND RECEPTACLES TO BE ROCKER TYPE- LUTRON OR EQ. COORDINATE W/ OWNER FOR DIMMER SWITCH LOCATION- SLIDE TYPE. COORDINATE W/ OWNER FOR EXACT LOCATIONS ETC.

- SURFACE MOUNT LIGHT
- ⊗ RECESSED CAN LIGHT
- ⊗ RECESSED ADJUSTIBLE CAN LIGHT
- UNDER CAB LIGHT
- P ⊗ PENDANT OR SURFACE MOUNT
- PO ⊗ REWIRED ORIGINAL PENDANT COORD. W/ OWNER
- SD SMOKE DETECTOR
- ⊗ VENT/LIGHT COMBINATION
- TV TELEVISION
- ⊗ TELEPHONE JACK
- ⊗ CEILING FAN
- ⊗ SWITCH 3 WAY SWITCH
- ⊗ DUPLEX OUTLET
- ⊗ GROUND FAULT INTERRUPT DUPLEX OUTLET
- ⊗ GFI WEATHER PROOF GROUND FAULT INTERRUPT DUPLEX OUTLET
- ⊗ WP GFI
- C ⊗ COUNTER HT
- CL ⊗ CLOSET APPROVED

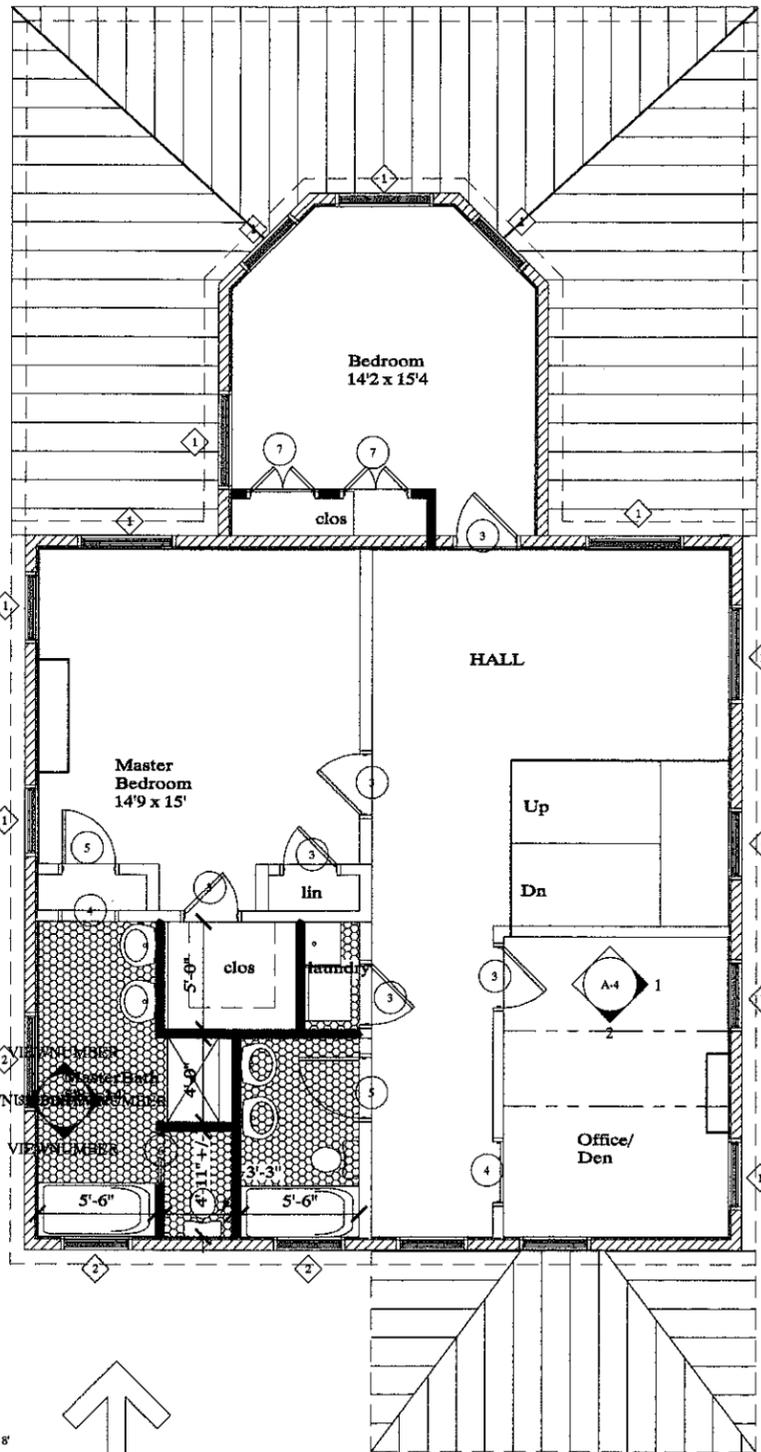


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Gittinger Residence Renovation/Restoration
4 Tazewell Avenue Cape Charles, VA

Proposed Floor Plans

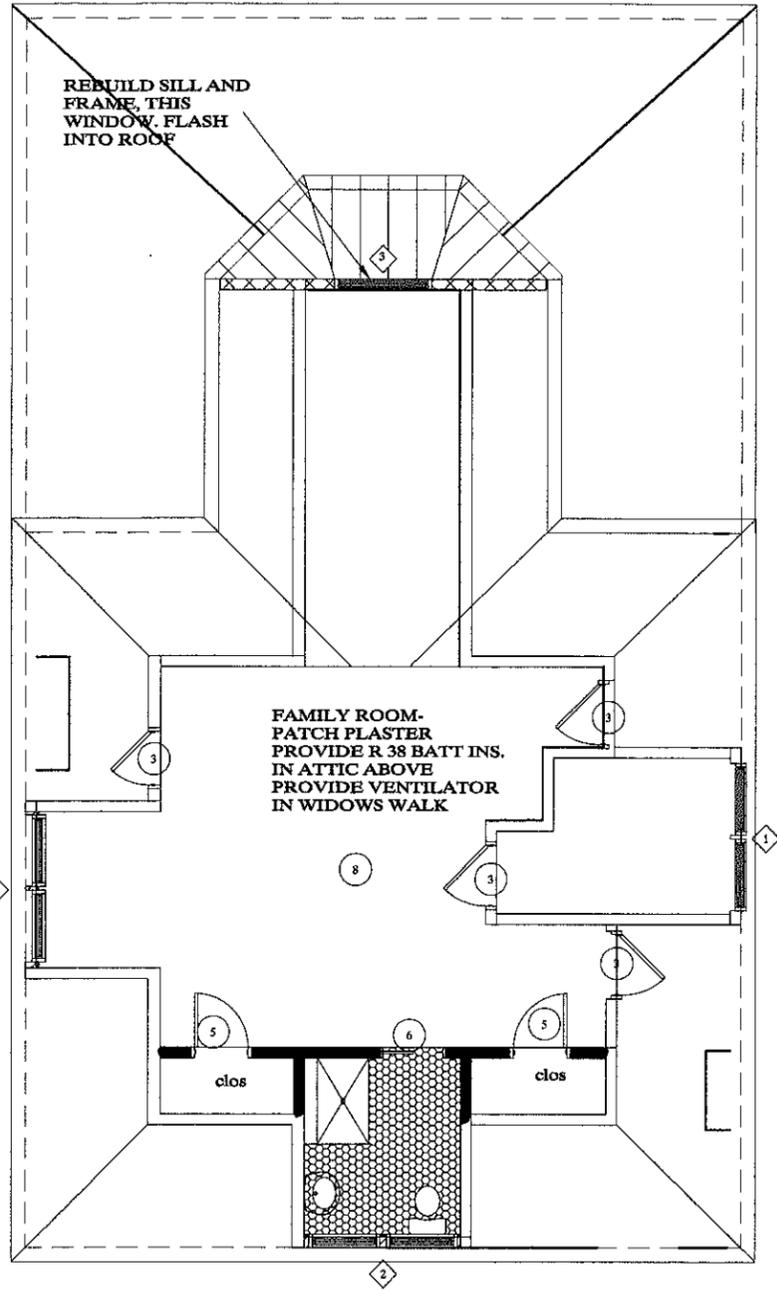
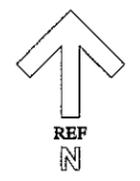
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|-------|-----------|--|-----|
| LP | 7/17/12 | | |
| 20123 | 1/4" = 1' | | A-1 |



PROVIDE LAUNDRY STACK W/D AND LAUN. SINK, WITH FLOOR DRAIN

DROP SOFFIT IN AREA OF REMOVED PARTITIONS

REMOVE CERAMIC FLOOR PROVIDE WOOD TO MATCH ORIGINAL



REBUILD SILL AND FRAME THIS WINDOW FLASH INTO ROOF

FAMILY ROOM- PATCH PLASTER PROVIDE R 38 BATT INS. IN ATTIC ABOVE PROVIDE VENTILATOR IN WIDOWS WALK



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Gittinger Residence Renovation/Restoration

4 Tazewell Avenue Cape Charles, VA

Proposed Floor Plans

9/1/12

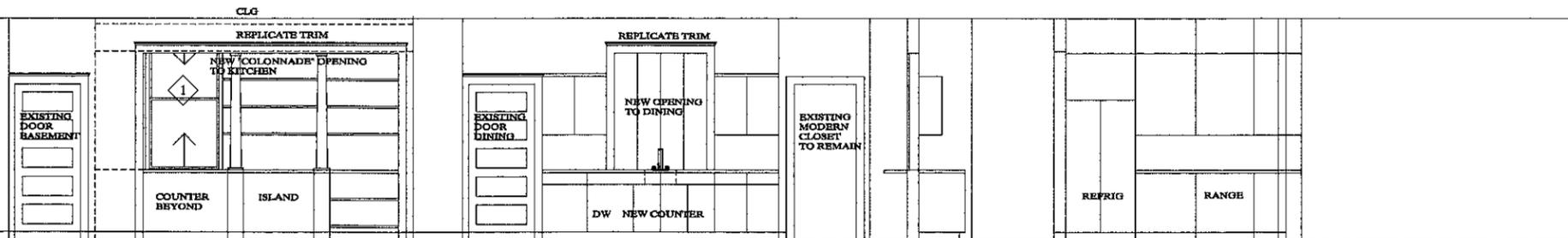
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| 20123 | 1/4"=1' | | A-2 |



1 FRONT (NORTH) ELEVATION
ViewportScale



2 SIDE (EAST) ELEVATION
ViewportScale



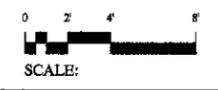
1 KITCHEN LOOKING EAST
ViewportScale

2 KITCHEN LOOKING WEST
ViewportScale

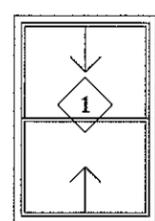
3 KITCHEN LOOKING NORTH
ViewportScale



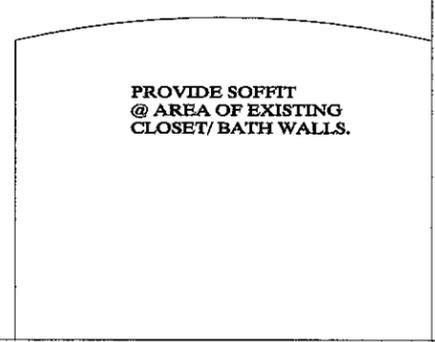
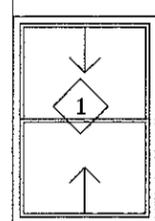
3 REAR (SOUTH) ELEVATION
ViewportScale



4 SIDE (WEST) ELEVATION
ViewportScale



EXISTING CHIMNEY BREAST AND NEW DROP SOFFIT AT REMOVED WALLS



PROVIDE SOFFIT @ AREA OF EXISTING CLOSET/ BATH WALLS.

VIEWNUM VIEWTITLE
ViewportScale



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Gittinger Residence Renovation/Restoration
4 Tazewell Avenue Cape Charles, VA
Proposed Elevations

| | | | |
|-------|---------|--|-----|
| LP | 7/17/12 | | |
| 20123 | 1/4"=1' | | A-4 |

Historic District Review Board Staff Report

From: Tom Bonadeo
Date: November 20, 2011
Item: 4B – Central Park Bathroom Building
Attachments: Photo and plans

Application Specifics

An application has been received to construct a permanent bathroom building at the east end of the Park. The proposed building would be sited symmetrically with the pump station along Plum Street.

The construction is being done in conjunction with Citizens for Central Park, a grand and Town matching funds. The building is owned by the Town and the grant was obtained by CCP.

Discussion

The plan sheets show the orientation of the building. The entry doors open to the park (west) side of the building. The Plum Street side (east) of the building has a “notice board”. The north and south sides are brick with no openings.

The building is designed to be compatible with the existing pump house also along the Plum Street side of the park. The building is brick to match the pump house and the shingles will be colored to match the pump house also. The bathroom shingles will be architectural rather than three tab, as is on the pump house building.

The bathroom will be ADA accessible from the park trail by a concrete walkway

Recommendation

Staff recommends the approval of the bathroom building design as it meets the compatibility requirements of the ordinance.

MUNICIPAL CORPORATION OF CAPE CHARLES, VIRGINIA

Application for Historic District Review

Date 11-13-2012
*(Attach plans)

Permit No. _____
Fee: ~~\$50.00~~ WAIVED - TOWN BLDG.

Applicant Citizens for Central Park, LLC Signature [Signature] President
Address PO Box 624 Cape Charles, VA 23310 Telephone 757-331-3493

Owner Town of Cape Charles
Address 2 Plum St. City Cape Charles State VA ZIP Code 23310

Contractor Q.S. LLC
Address PO Box 1090 City Cheriton State VA ZIP Code 23316
Town License No. 12-0038 State License No. 2705142263A

Location of Improvement Cape Charles Central Park
Lot No. 83A3-1-23 Block No. _____ Lot Size 5 acres Lot Area 5 acres
Type of Improvement Restroom (660' x 380')
Proposed Use Public use
Estimated Construction Costs \$ 37,000

Dimension of Structure or Improvement Width 14' Length 18' Height 16'
Total Square Footage 252

Structure or Improvement will be set back
10' from front property line
100' from side property line
 from side property line on corner lot
630' from rear property line
 from alley

Town Water Permit N/A Town Sewer Permit N/A

CERTIFICATION OF APPLICANT

I hereby certify that I have the authority to make the foregoing application, that the information given is true and correct, and that the construction or improvements will conform to the regulations in the Virginia Statewide Building Code, all pertinent Town Ordinances, including fire, sewer, and water ordinances, and private building restrictions, if any, which may be imposed on the property by deed. Furthermore, I certify that the changes to the improvement before or during construction will be provided to the Zoning Administrator and Building Official before such changes are constructed.

Signature of Owner/Agent [Signature]

BUILDING PERMIT

Issuance of a Certificate of Appropriateness in itself does not permit the applicant, owner, or contractor to proceed with the improvements noted above. Improvements can proceed only after issuance of a building permit from the Cape Charles Building Official, whose office is in the Municipal Building at 2 Plum Street in Cape Charles and who can be reached at 757-331-2176.

Date Approved _____ Date Denied _____
Zoning Administrator _____

| | | | |
|---|---|--|---|
|  <p>TOWN OF CAPE CHARLES</p> | AGENDA TITLE: Central Park Restrooms | | AGENDA DATE: November 8, 2012 |
| | SUBJECT/PROPOSAL/REQUEST: Release of allocated funds to CCP for Central Park Restrooms | | ITEM NUMBER: 6A |
| | ATTACHMENTS: None | | FOR COUNCIL: Action <input checked="" type="checkbox"/> (X) Information <input type="checkbox"/> () |
| | STAFF CONTACT (s): Heather Arcos | REVIEWED BY: Heather Arcos, Town Manager | |

BACKGROUND:

Council approved a plan for the Town to partner with Citizens for Central Park (CCP) to build permanent restrooms in Central Park. The building would be similar in design to the Plum Street Pump Station in the northeast corner of the park, and would be located in the southeast corner for symmetry. CCP applied for a \$45,000 grant from the Eastern Shore of Virginia Community Foundation, but received only \$20,000. Council included \$15,000 in the FY 2013 budget as the Town match for the project. CCP has been working with Town staff to determine whether it can be accomplished for the amount of funding available through a design-build contract.

DISCUSSION:

CCP contacted six local contractors to ascertain interest in the project: Boytos & Boytos, J.A. Habel, Jesse Philpott, Manning Construction, QS, and Schneider Development. The decision was made by CCP to limit the proposal process to local contractors since those off the Eastern Shore did not prove competitive in the Harbor Bath House design-build competition.

CCP conducted individual meetings with the four interested contractors, focusing on the proposed site, locations for utility connections, flood plain, conceptual drawings, desired features and the funding available. It was emphasized that CCP was looking for the best balance of building aesthetics, features, maintainability and cost. Proposals were received on October 15, 2012 from Boytos & Boytos, Manning and QS.

CCP President Bob Panek asked Town staff to review the proposals regarding preliminary compliance of the Building Code and Town Code.

Manning's proposal significantly exceeded the funding available. The remaining two contractors were contacted for clarifications and modifications to the proposals based on the initial review.

QS provided the best value proposal within the \$35,000 budget. Boytos & Boytos did not meet the budget. CCP will pay for the architectural plans from Parham, at a cost of \$2,000.

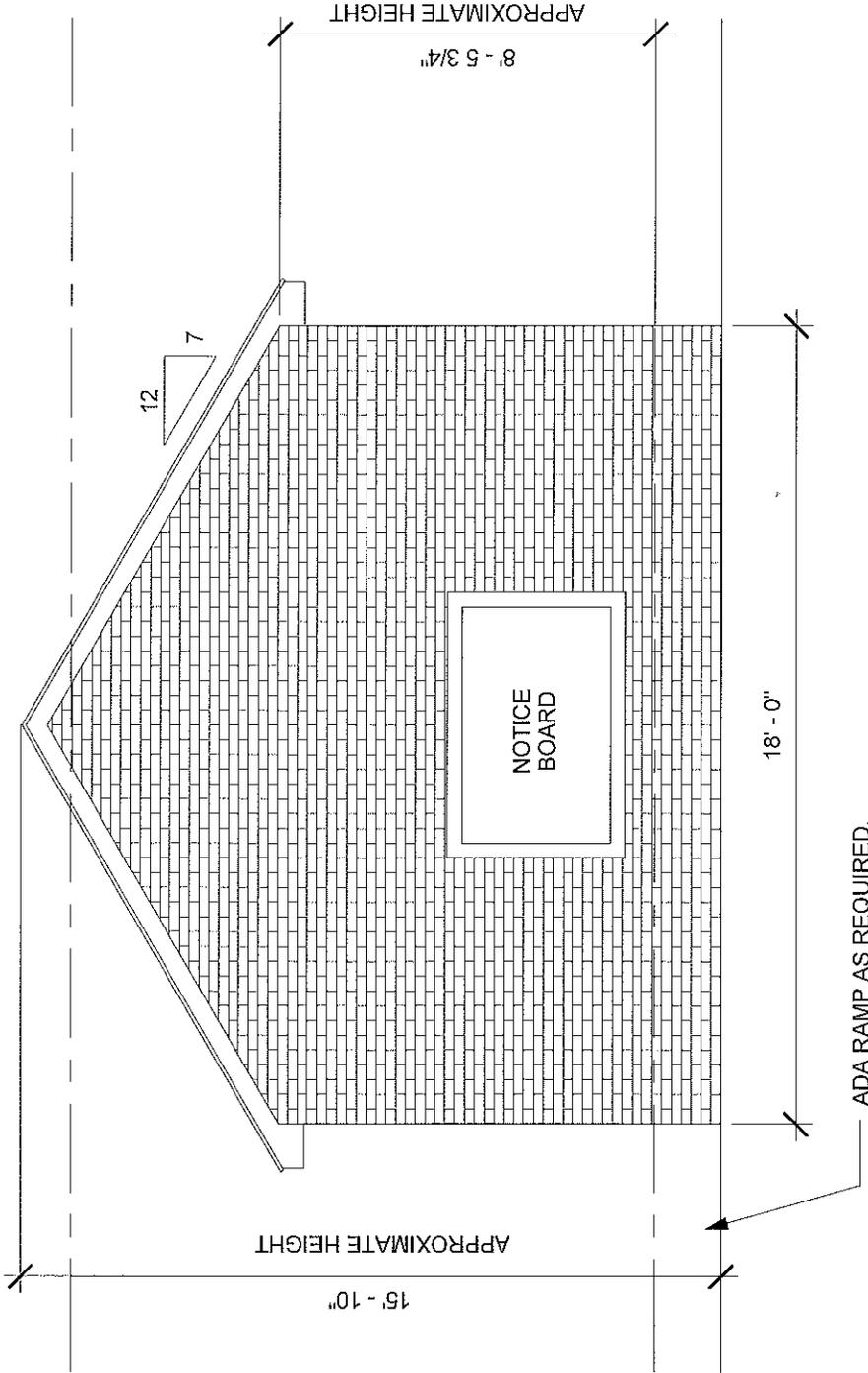
RECOMMENDATION:

Staff requests Council authorization to disburse the allocated \$15K to the CCP for the completion of the Central Park Restrooms.

PEAK OF EXISTING BUILDING
13' - 2 3/8"

NOTE:
ALL MATERIALS, DESIGN, AND CONSTRUCTION TO MATCH EXISTING BUILDING TO THE NORTH (INCLUDING BUT NOT LIMITED TO BRICK, ROOFING, ROOF PITCH, DOORS, FACIA/SOFFIT/EAVE TRIM, ETC)

NEW FLOOR LEVEL 0"
GRADE -1' - 6"



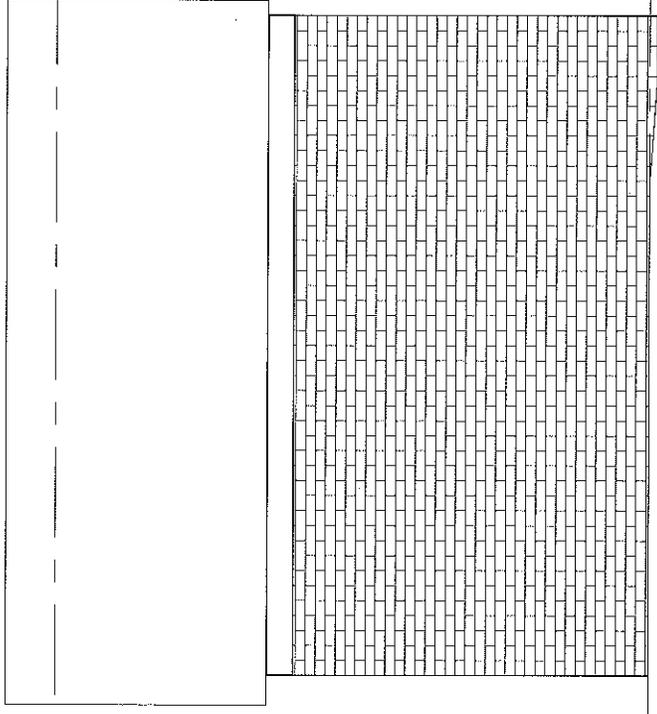
① EAST ELEVATION
1/4" = 1'-0"

DRAWN BY:

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| | | | |
|---|-------------------------------------|-----------------------------|---------------------------|
| PARK BATHROOMS Cape Charles, VA | SHEET NAME EAST ELEVATION | SHEET NUMBER A301 | DATE 11/14/2012 |
|---|-------------------------------------|-----------------------------|---------------------------|

PEAK OF EXISTING BUILDING
13' - 2 3/8"



NOTE:
ALL MATERIALS, DESIGN, AND CONSTRUCTION TO MATCH EXISTING BUILDING TO THE NORTH
(INCLUDING BUT NOT LIMITED TO BRICK, ROOFING, ROOF PITCH, DOORS, FACIA/SOFFIT/EAVE TRIM, ETC)

NEW FLOOR LEVEL 0"
GRADE -1' - 6"

14' - 8"

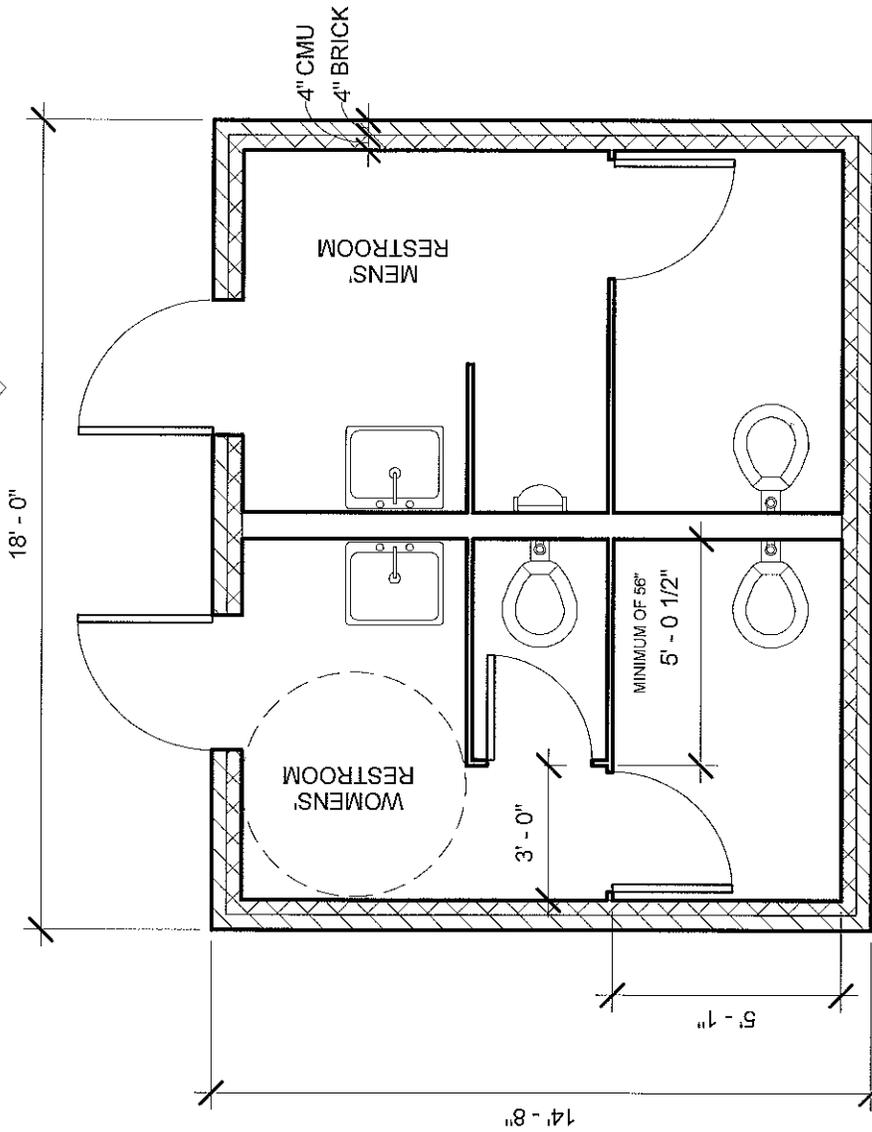
1 NORTH ELEVATION
1/4" = 1'-0"

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| <p>PARK BATHROOMS Cape Charles, VA</p> | <p>SHEET NAME NORTH ELEVATION</p> | <p>SHEET NUMBER A302</p> | <p>DATE 11/14/2012</p> |
|---|---------------------------------------|------------------------------|----------------------------|

NOTE:
 ALL MATERIALS, DESIGN, AND
 CONSTRUCTION TO MATCH
 EXISTING BUILDING TO THE
 NORTH
 (INCLUDING BUT NOT LIMITED
 TO BRICK, ROOFING, ROOF
 PITCH, DOORS,
 FACIA/SOFFIT/EAVE TRIM, ETC)

A303
1



A304
1

A302
1



1 FLOOR PLAN
 1/4" = 1'-0"

A301
1

GREEN COTTAGE HOMES

SARAH S. POTTER
 PRESIDENT

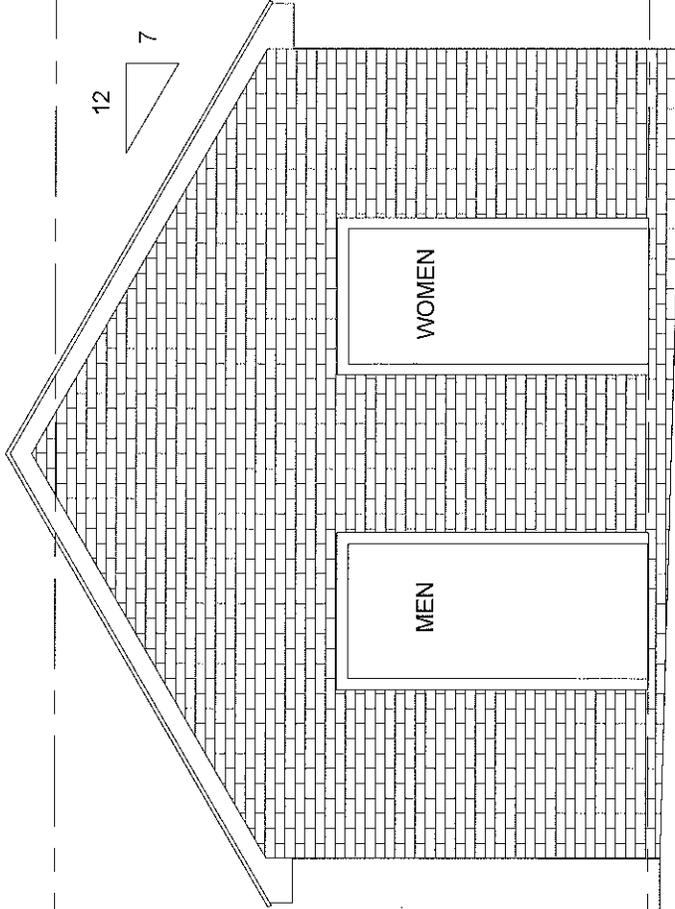
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| PARK BATHROOMS Cape Charles, VA | SHEET NAME FLOOR PLAN | SHEET NUMBER A101 | DATE 11/14/2012 |
|---|--------------------------|----------------------|--------------------|

PEAK OF EXISTING BUILDING
13' - 2 3/8" 

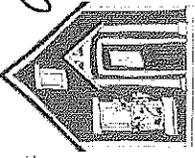
NOTE:
ALL MATERIALS, DESIGN, AND CONSTRUCTION TO MATCH EXISTING BUILDING TO THE NORTH (INCLUDING BUT NOT LIMITED TO BRICK, ROOFING, ROOF PITCH, DOORS, FACIA/SOFFIT/EAVE TRIM, ETC.)



NEW FLOOR LEVEL 0" 
GRADE -1' - 6" 

① WEST ELEVATION
1/4" = 1'-0"

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| PARK BATHROOMS Cape Charles, VA | SHEET NAME WEST ELEVATION | SHEET NUMBER A303 | DATE 11/14/2012 |
|---|-------------------------------------|-----------------------------|---------------------------|



11/14/2012 14:44



11/14/2012 14:44

Historic District Review Board Staff Report

From: Tom Bonadeo
Date: November 20, 2012
Item: 5A – 235 Mason Avenue – Hotel Cape Charles Balcony Modification
Attachments: New Drawing

Application Specifics

A complete application has been received for a modification to the original Certificate of Appropriateness for the Hotel Cape Charles. The Board reviewed and approved this project in March and April of 2011 and the approved plan is attached. The applicant has provided an application and letter to modify the original plan.

The Board met in September and agreed to review a modification to the second level railing. Attached is a drawing showing a modification to the tops of the glass rail on the second floor balcony.

The original application included a rail that extended the full width of the second floor balcony with iron railing at each balcony only. During construction, both the handrail and iron rail were replaced with glass guard rail.

Discussion

The Applicant has submitted a modification to add a wooden handrail on the top of each balcony glass guard rail. The Board agreed that the concentration should be on the second floor railing at its October meeting.

The drawing falls short of the full railing originally proposed.

Recommendation

Review the plan and discuss the next steps.



09/13/2012 12:56